

MULTI UNIT HOUSING DEVELOPMENT

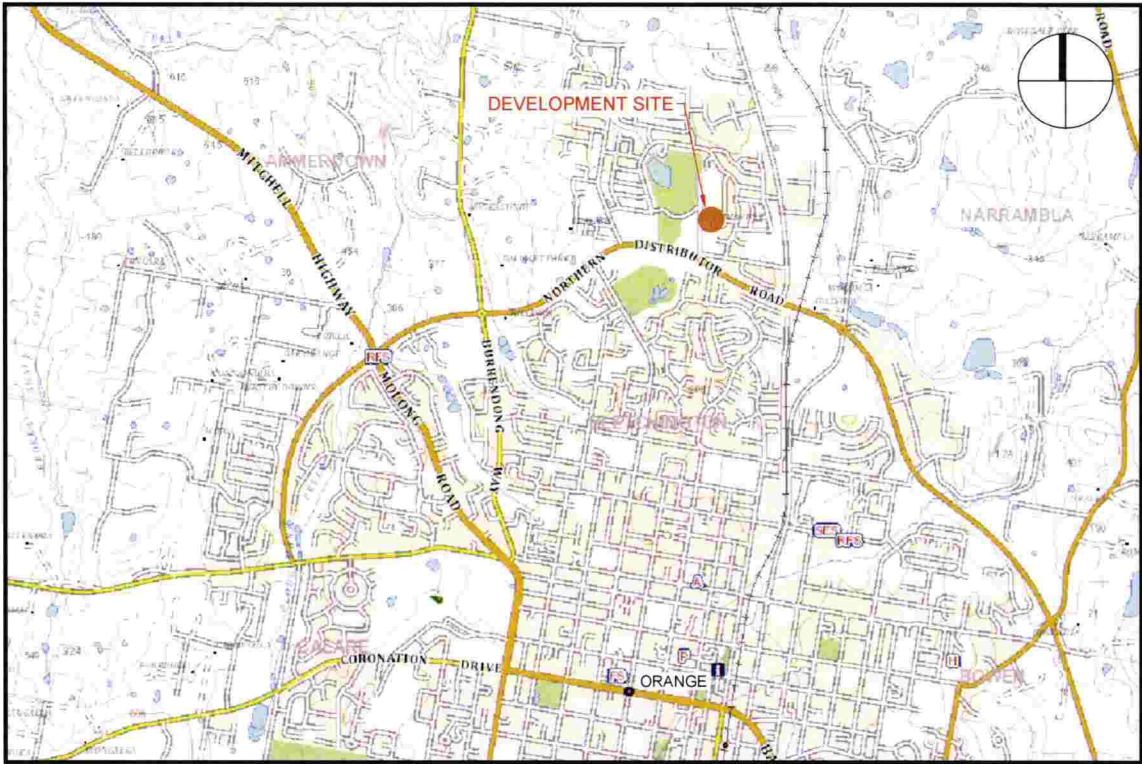
EMERALD STREET, ORANGE NSW

HOUSING PLUS

TYPE #6 UNIT PLAN

SCHEDULE OF DRAWINGS

DRAWING	TITLE	REVISION	DATE
A000	TITLE SHEET AND SITE LOCALITY	F	06.09.2019
A001	SITE DETAIL SURVEY	F	06.09.2019
A002	SITE ANALYSIS PLAN	F	06.09.2019
A003	PROPOSED GROUND LEVEL SITE PLAN	F	06.09.2019
A004	PROPOSED ROOF LEVEL SITE PLAN	F	06.09.2019
A005	PROPOSED SITE AREAS PLAN	F	06.09.2019
A006	SITE VEHICLE PATHWAYS SHEET 1 OF 2	F	06.09.2019
A007	SITE VEHICLE PATHWAYS SHEET 2 OF 2	F	06.09.2019
A008	STREETSCAPE SHEET 1 OF 2	F	06.09.2019
A009	STREETSCAPE SHEET 2 OF 2	F	06.09.2019
A010	SOLAR ACCESS SITE PLAN	F	06.09.2019
A011	SHADOW DIAGRAMS SHEET 1 OF 4	F	06.09.2019
A012	SHADOW DIAGRAMS SHEET 2 OF 4	F	06.09.2019
A013	SHADOW DIAGRAMS SHEET 3 OF 4	F	06.09.2019
A014	SHADOW DIAGRAMS SHEET 4 OF 4	F	06.09.2019
A015	TYPE #1 UNIT PLAN	F	06.09.2019
A016	TYPE #1 UNIT ELEVATIONS	F	06.09.2019
A017	TYPE #2 UNIT PLAN	F	06.09.2019
A018	TYPE #2 UNIT ELEVATIONS	F	06.09.2019
A019	TYPE #3 UNIT PLAN	F	06.09.2019
A020	TYPE #3 UNIT ELEVATIONS	F	06.09.2019
A021	TYPE #4 UNIT PLAN	F	06.09.2019
A022	TYPE #4 UNIT ELEVATIONS	F	06.09.2019
A023	TYPE #5 UNIT PLAN	F	06.09.2019
A024	TYPE #5 UNIT ELEVATIONS	F	06.09.2019
A025		F	06.09.2019
A026	TYPE #6 UNIT ELEVATIONS	F	06.09.2019
A027	TYPE #7 UNIT PLAN	F	06.09.2019
A028	TYPE #7 UNIT ELEVATIONS	F	06.09.2019
A029	EXTERNAL MATERIALS SCHEDULE	F	06.09.2019



SITE LOCALITY
NOT TO SCALE

GENERAL NOTES:

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E	27.08.19	GT	JB	ISSUE FOR CLIENT INFORMATION
ARCHITECTURAL APPROVAL				INITIALS DATE DD MM YY

APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT



Premise

ORANGE
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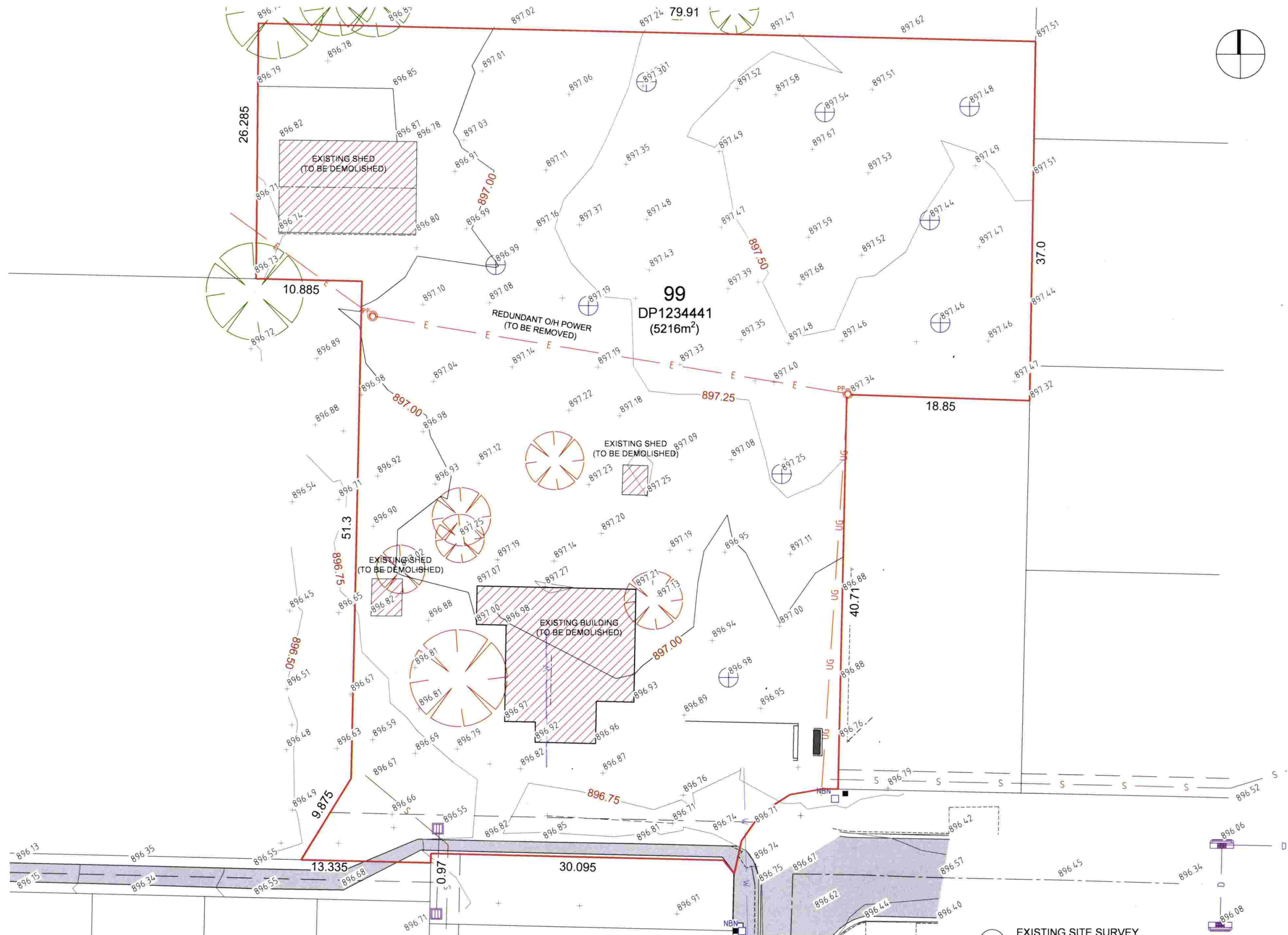
154 PEISLEY STREET
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ORANGE NSW 2800
Ph: (02) 6393 5000
Fx: (02) 6393 5050

NOMINATED ARCHITECT:
JAMES BUCKLEY, NSW ARB 8504

DRAWING	TITLE SHEET & SITE LOCALITY
PROJECT NUMBER	219391
DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1
A1 SCALE	1:2
A3 SCALE	1:4
IMAGE SOURCE	-
STATUS	FOR DA APPROVAL
SHEET	A000 OF A029
SET	02F

LEGEND:

---	ROAD CENTRELINE
- / - / -	FENCE
- - -	BOTTOM OF BANK
- E - E -	ELECTRICITY LINES
- UG -	UNDERGROUND ELECTRICAL
- D - D -	STORMWATER DRAINAGE
- S - S -	SEWER MAIN
- W - W -	WATER MAIN
- ETG -	ELECTRICAL/TELECOMS/GAS
PP	POWER POLE
LP	LIGHT POLE
	ELECTRICITY PIT/PILLAR
TP	TELECOMMUNICATIONS PIT
NBN	NBN PIT
MH	SEWER MANHOLE
WMR	WATER METER
TAP	TAP
⊗	EXISTING TREE
⊗	EXISTING TREE (TO BE REMOVED)
⊕	TEST PIT



EXISTING SITE SURVEY
SCALE 1:200 AT A1, 1:400 AT A3

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PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT

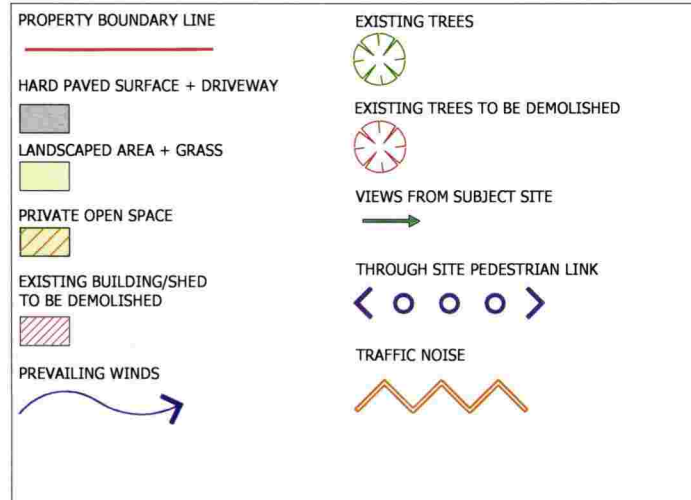
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DRAWING			
SITE DETAIL SURVEY			
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1	A1 SCALE	A3 SCALE
IMAGE SOURCE			
STATUS	FOR DA APPROVAL	SHEET	A001 OF A029
SET			02F



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DRAWING			
SITE ANALYSIS PLAN			
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1	A1 SCALE	A3 SCALE
IMAGE SOURCE			
STATUS	FOR DA APPROVAL	SHEET	A002 OF A029

02F

Teloepa Way

UNITS 1-11,19 : 2 BEDROOM
UNITS 12-18 : 1 BEDROOM
TOTAL =19 UNITS

VACANT BLOCK

Emerald Street

GROUND LEVEL SITE PLAN
SCALE 1:200 AT A1, 1:400 AT A3

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NOMINATED ARCHITECT
JAMES BUCKLEY, NSW ARB 8504

DRAWING
PROPOSED GROUND LEVEL SITE PLAN

PROJECT NUMBER 219391
DRAWING FILE 219391_02F-A000-A029.dwg

ORIGINAL SIZE A1
A1 SCALE: A3 SCALE: SET

IMAGE SOURCE

STATUS FOR DA APPROVAL
SHEET A003 OF A029

02F

Teloepa Way

VACANT BLOCK

UNITS 1-11,19 : 2 BEDROOM
UNITS 12-18 : 1 BEDROOM
TOTAL =19 UNITS

VACANT BLOCK

EXISTING DWELLING

EXISTING DWELLING

EXISTING DWELLING

EXISTING DWELLING

VACANT BLOCK

EXISTING DWELLING

EXISTING DWELLING

EXISTING DWELLING

EXISTING DWELLING

EXISTING DWELLING

Emerald Street

ROOF LEVEL SITE PLAN
SCALE 1:200 AT A1, 1:400 AT A3

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JAMES BUCKLEY, NSW ARB 8504

DRAWING
PROPOSED ROOF LEVEL SITE PLAN

PROJECT NUMBER 219391
DRAWING FILE 219391_02F-A000-A029.dwg

ORIGINAL SIZE A1
A1 SCALE: A3 SCALE:

IMAGE SOURCE

STATUS FOR DA APPROVAL
SHEET A004 OF A029

SET
02F

UNIT No	UNIT AREA FOOTPRINT sqm	UNIT ROOF AREA FOOTPRINT sqm	POS AREA sqm	CPORT AREA sqm	RESIDENT CAR PARK SPACES	VISITOR CAR PARK SPACES	COMMON AREA LANDSCAPE sqm	COMMON AREA GRASS sqm	AREA WALKWAYS sqm	ROAD AREA sqm	TOTAL SITE AREA sqm
1	75	115	123	14.5							
2	75	115	52.5	14.5							
3	75	115	52.5	14.5							
4	75	115	52.5	14.5							
5	75	115	52.5	14.5							
6	75	115	52.5	14.5							
7	75	115	119	14.5							
8	75	115	66	14.5							
9	75	115	69	14.5							
10	75	115	59	14.5							
11	75	115	55	14.5							
12	55	100	101.5	14.5							
13	55	100	62	14.5							
14	55	100	50	14.5							
15	55	100	50	14.5							
16	55	100	61	14.5							
17	55	100	55	14.5							
18	55	100	68	14.5							
19	75	115	98	14.5							
TOTAL	1285	2080	1299	275.5	19	12	143.5	519	94	858	5216

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DRAWING			
PROPOSED SITE AREA PLAN			
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1	A1 SCALE	A3 SCALE
IMAGE SOURCE			
STATUS	FOR DA APPROVAL	SHEET	A005 OF A029



SITE AREAS PLAN
SCALE 1:200 AT A1, 1:400 AT A3



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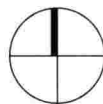
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NOMINATED ARCHITECT
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DRAWING	SITE VEHICLE PATHWAYS SHEET 1 OF 2
PROJECT NUMBER	219391
DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1
A1 SCALE	A3 SCALE
IMAGE SOURCE	
STATUS	FOR DA APPROVAL
SHEET	A006 OF A029
SET	02F



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DRAWING
SITE VEHICLE PATHWAYS SHEET 2 OF 2

PROJECT NUMBER 219391
DRAWING FILE 219391_02F-A000-A029.dwg

ORIGINAL SIZE A1
A1 SCALE: A3 SCALE: SET

IMAGE SOURCE: 02F

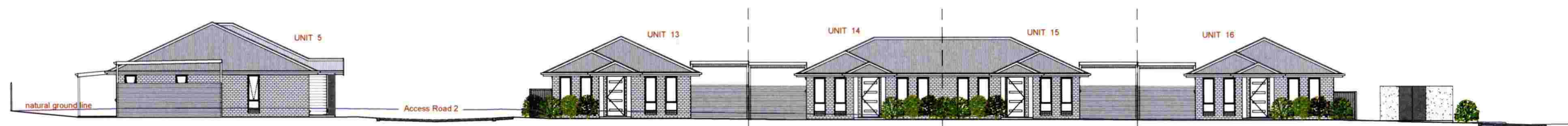
STATUS FOR DA APPROVAL
SHEET A007 OF A029



AA
A005
STREETSCAPE ELEVATION VIEW (ACCESS ROAD 2) LOOKING NORTH
SCALE 1:125 AT A1, 1:250 AT A3



BB
A005
STREETSCAPE ELEVATION VIEW (ACCESS ROAD 2) LOOKING SOUTH
SCALE 1:125 AT A1, 1:250 AT A3



CC
A005
STREETSCAPE ELEVATION VIEW (ACCESS ROAD 1) LOOKING EAST
SCALE 1:125 AT A1, 1:250 AT A3

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DRAWING			
STREETSCAPE SHEET 1 OF 2			
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1	A1 SCALE	A3 SCALE
IMAGE SOURCE			
STATUS	FOR DA APPROVAL	SHEET	A008 OF A029

02F



DD
A005

STREETSCAPE ELEVATION VIEW (ACCESS ROAD 1) LOOKING WEST

SCALE 1:125 AT A1, 1:250 AT A3



EE
A005

STREETSCAPE ELEVATION VIEW (ACCESS ROAD) LOOKING NORTH

SCALE 1:125 AT A1, 1:250 AT A3

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DRAWING				STREETSCAPE SHEET 2 OF 2	
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg	SET	
ORIGINAL SIZE	A1	A1 SCALE	A3 SCALE		
IMAGE SOURCE					
STATUS	FOR DA APPROVAL	SHEET	A009	OF	A029

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REV	DATE	DFTD	APPO	DETAILS
F	06.09.19	GT	JB	ISSUE FOR DA APPROVAL
D	21.08.19	GT	JB	DRAFT ISSUE
E	27.08.19	GT	JB	ISSUE FOR CLIENT INFORMATION
ARCHITECTURAL APPROVAL				INITIALS DATE

APPROVAL AUTHORITY
ORANGE CITY COUNCIL

CLIENT
HOUSING PLUS

PROJECT
EMERALD STREET, ORANGE
MULTI UNIT HOUSING DEVELOPMENT



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orange@geolyse.com
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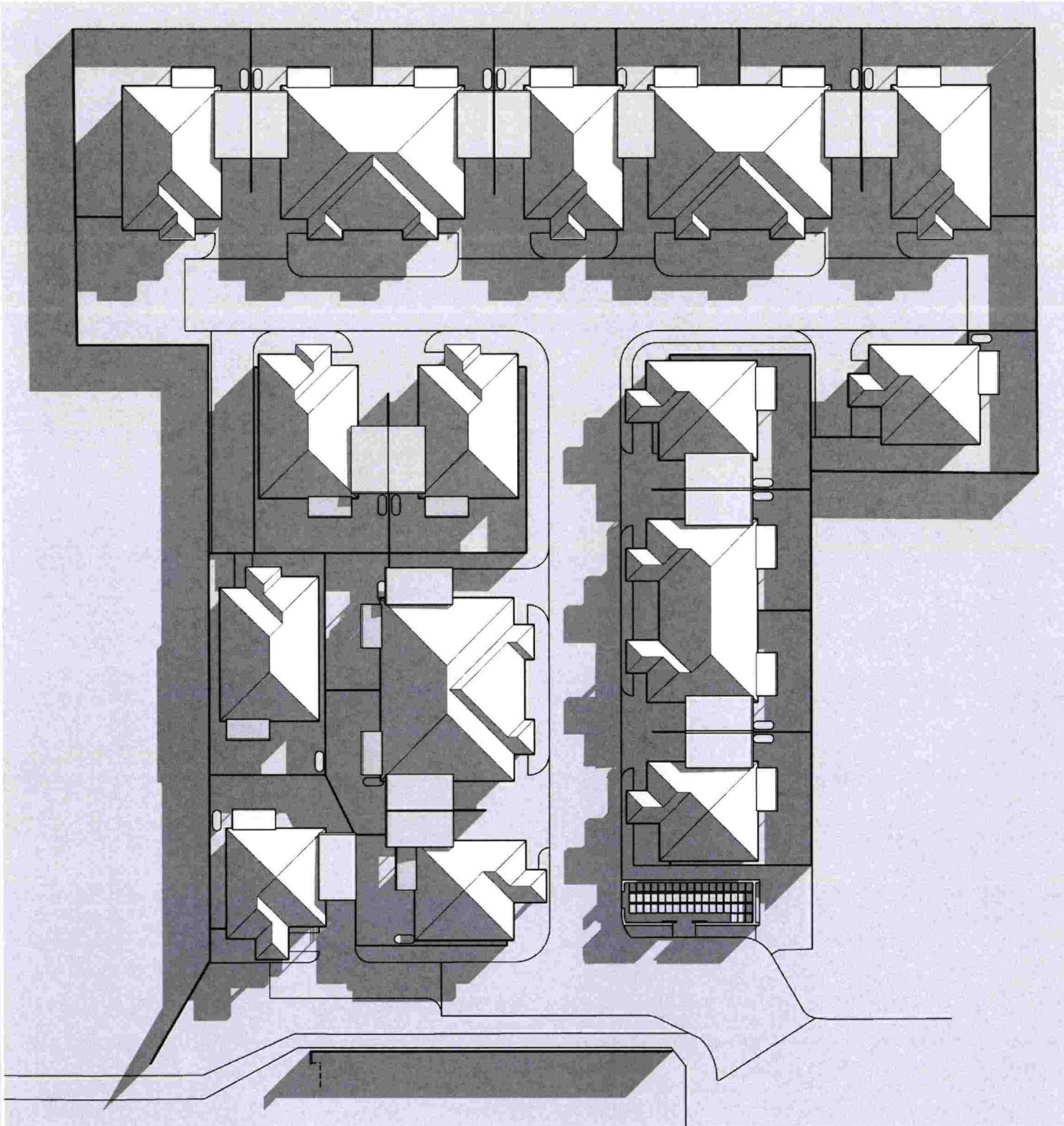
154 PEISLEY STREET
P.O. BOX 1963
ORANGE NSW 2800
Ph: (02) 6393 5000
Fx: (02) 6393 5050

NOMINATED ARCHITECT:
JAMES BUCKLEY, NSW ARB 8504

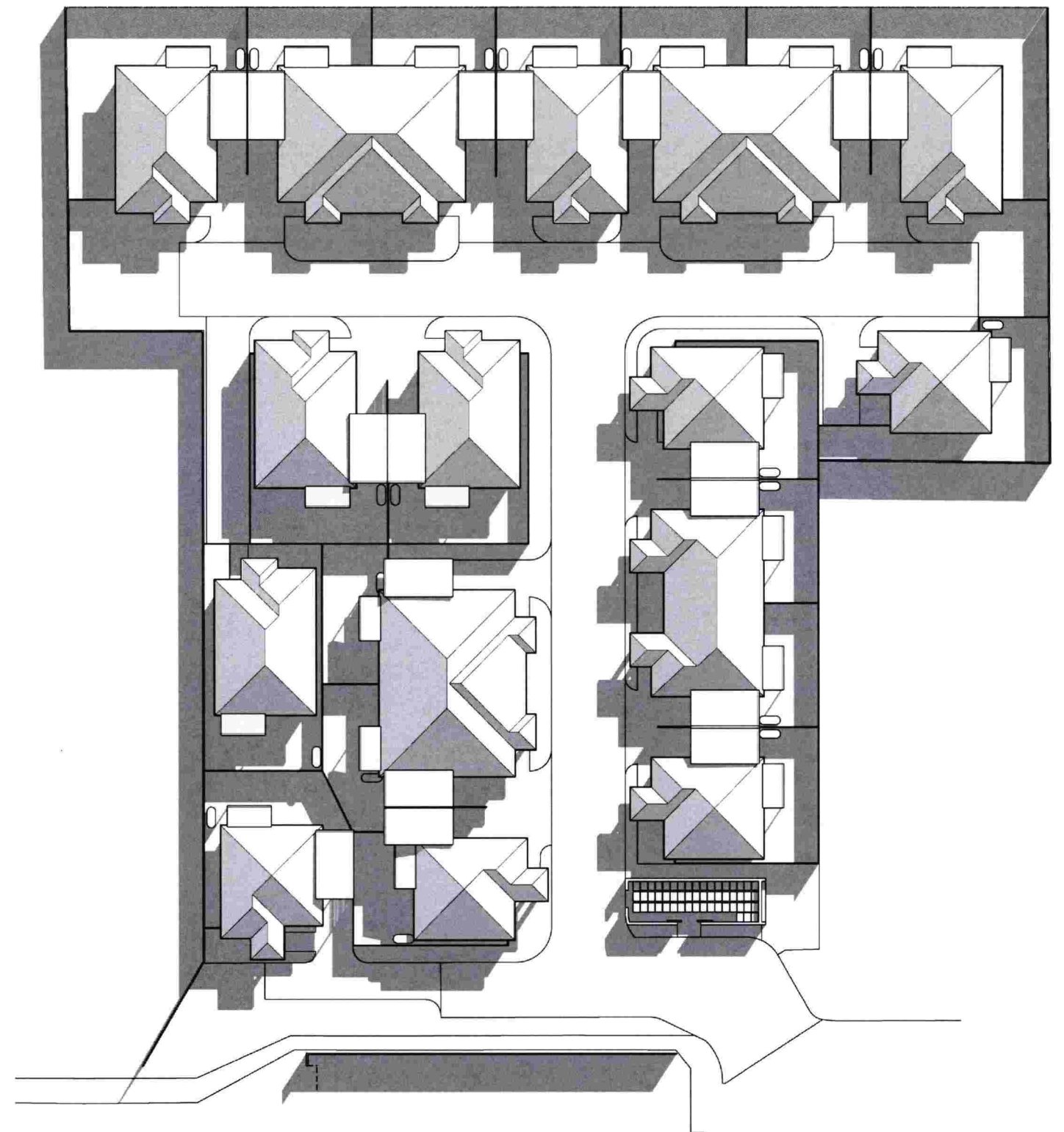
SOLAR ACCESS SITE PLAN
SCALE 1:200 AT A1, 1:400 AT A3

SOLAR ACCESS SITE PLAN

PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg	SET
ORIGINAL SIZE	A1	A1 SCALE:	A3 SCALE:	02F
IMAGE SOURCE				
STATUS	FOR DA APPROVAL	SHEET	A010 OF A029	



1 SHADOW DIAGRAM - WINTER SOLSTICE 9AM
NTS



2 SHADOW DIAGRAM - WINTER SOLSTICE 10AM
NTS

GENERAL NOTES:

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APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT



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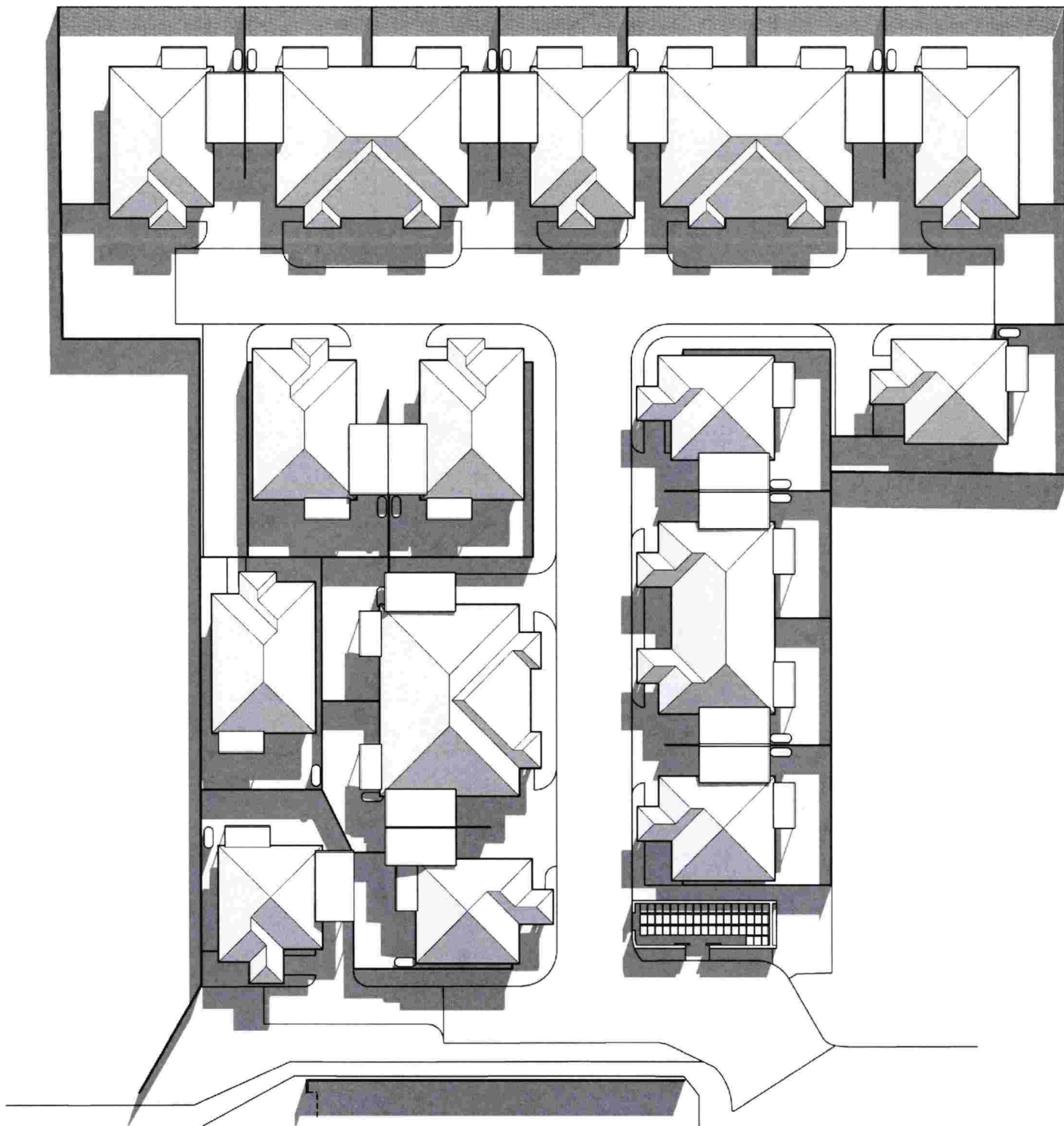


NOMINATED ARCHITECT:
JAMES BUCKLEY, NSW ARB 8504

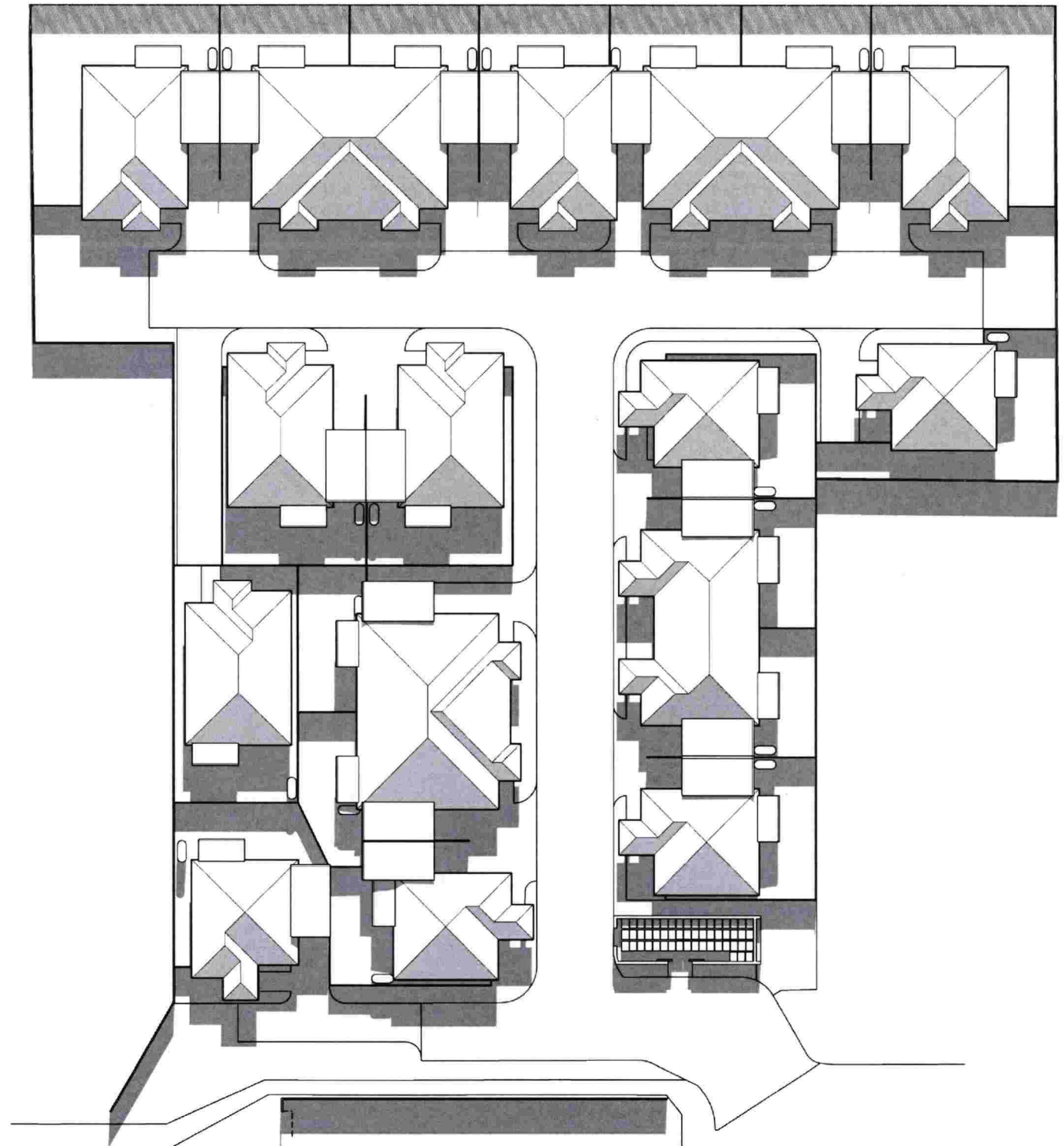
DRAWING

SHADOW DIAGRAMS SHEET 1 OF 4

PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg	SET
ORIGINAL SIZE	A1	A1 SCALE	A3 SCALE	02F
IMAGE SOURCE				
STATUS	FOR DA APPROVAL	SHEET	A011 OF A029	



3 SHADOW DIAGRAM - WINTER SOLSTICE 11AM
NTS



4 SHADOW DIAGRAM - WINTER SOLSTICE 12PM
NTS

GENERAL NOTES:

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ARCHITECTURAL APPROVAL						

APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT



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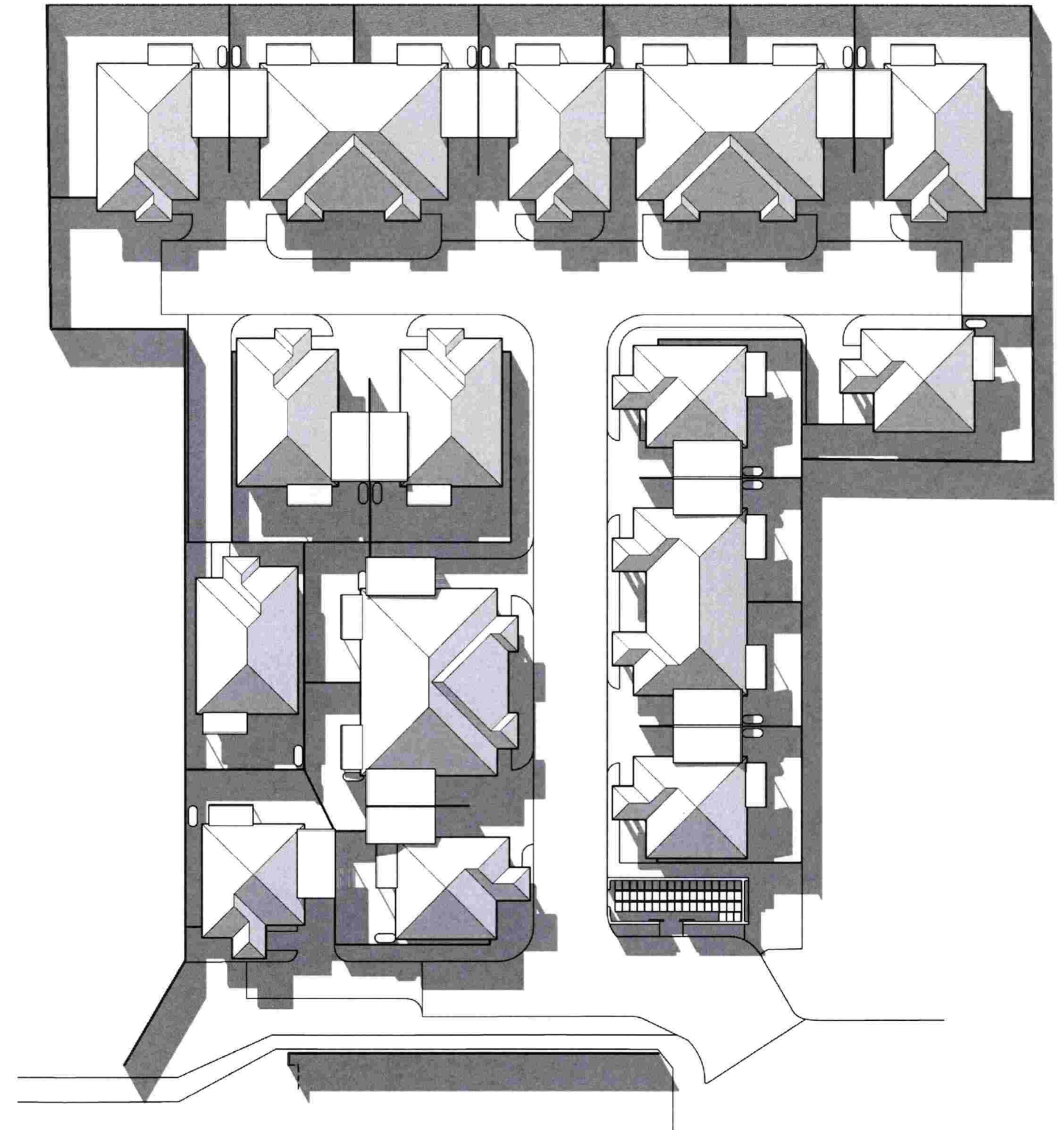
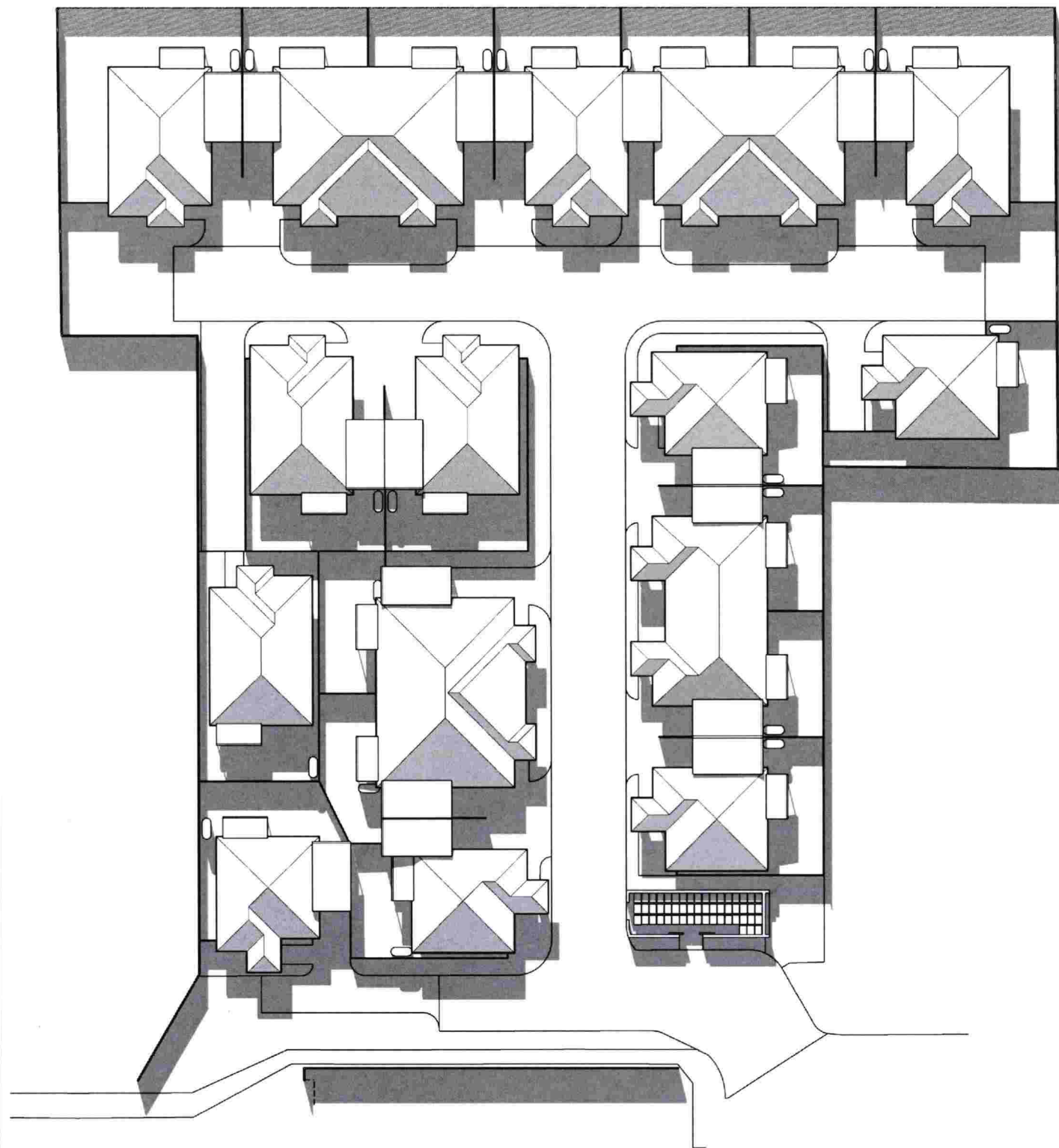


NOMINATED ARCHITECT
JAMES BUCKLEY, NSW ARB 8504

DRAWING

SHADOW DIAGRAMS SHEET 2 OF 4

PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg	SET
ORIGINAL SIZE	A1	A1 SCALE	A3 SCALE	02F
IMAGE SOURCE				
STATUS	FOR DA APPROVAL	SHEET	A012 OF A029	



5 SHADOW DIAGRAM - WINTER SOLSTICE 1PM
NTS

6 SHADOW DIAGRAM - WINTER SOLSTICE 2PM
NTS

GENERAL NOTES:

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ARCHITECTURAL APPROVAL				INITIALS DATE

APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT



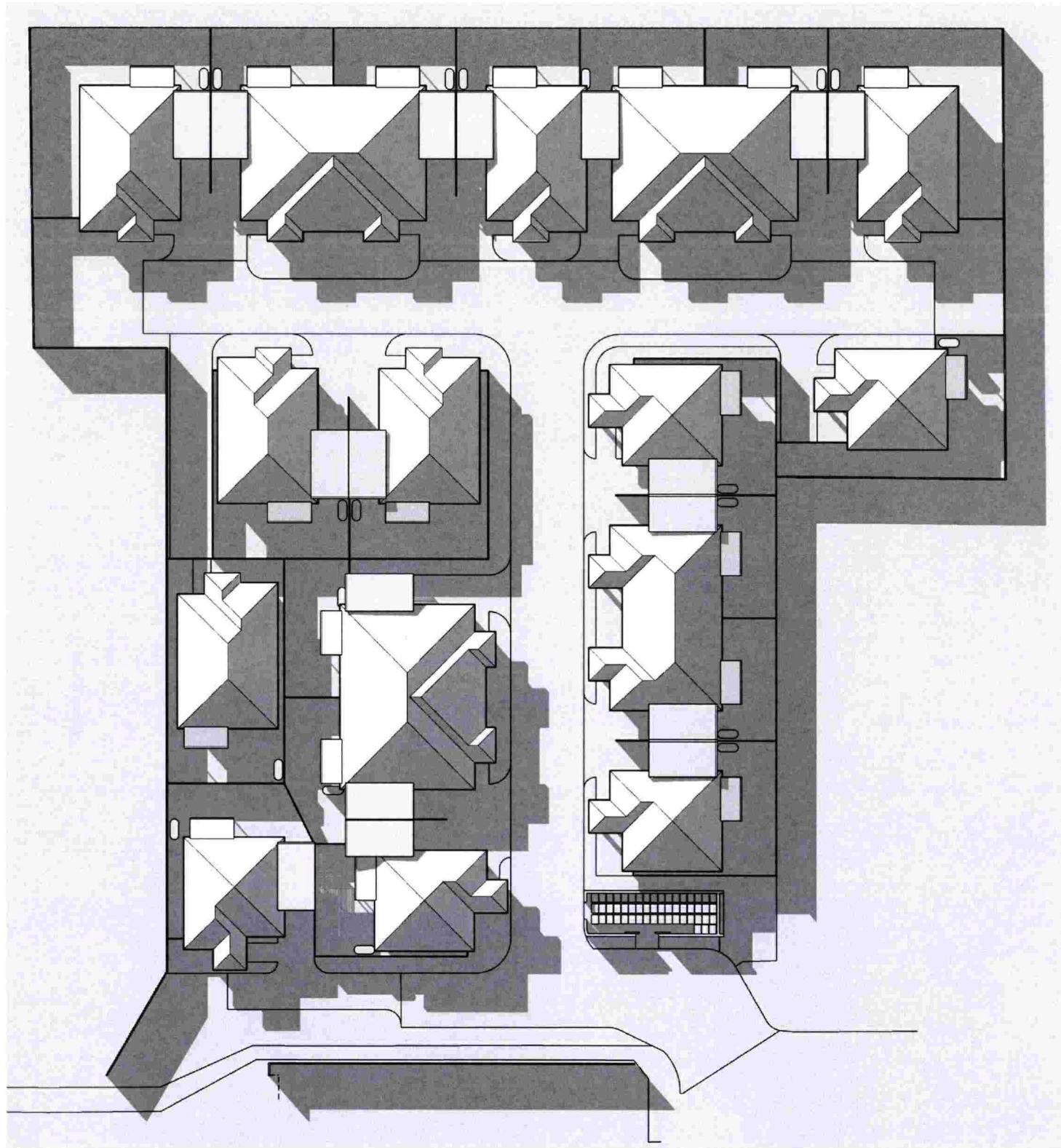
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NOMINATED ARCHITECT
JAMES BUCKLEY, NSW ARB 8504

DRAWING			
SHADOW DIAGRAMS SHEET 3 OF 4			
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1	A1 SCALE	A3 SCALE
IMAGE SOURCE			
STATUS	FOR DA APPROVAL	SHEET	A013 OF A029
			SET 02F



7 SHADOW DIAGRAM - WINTER SOLSTICE 3PM
NTS

GENERAL NOTES:

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ARCHITECTURAL APPROVAL				INITIALS DATE

APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT

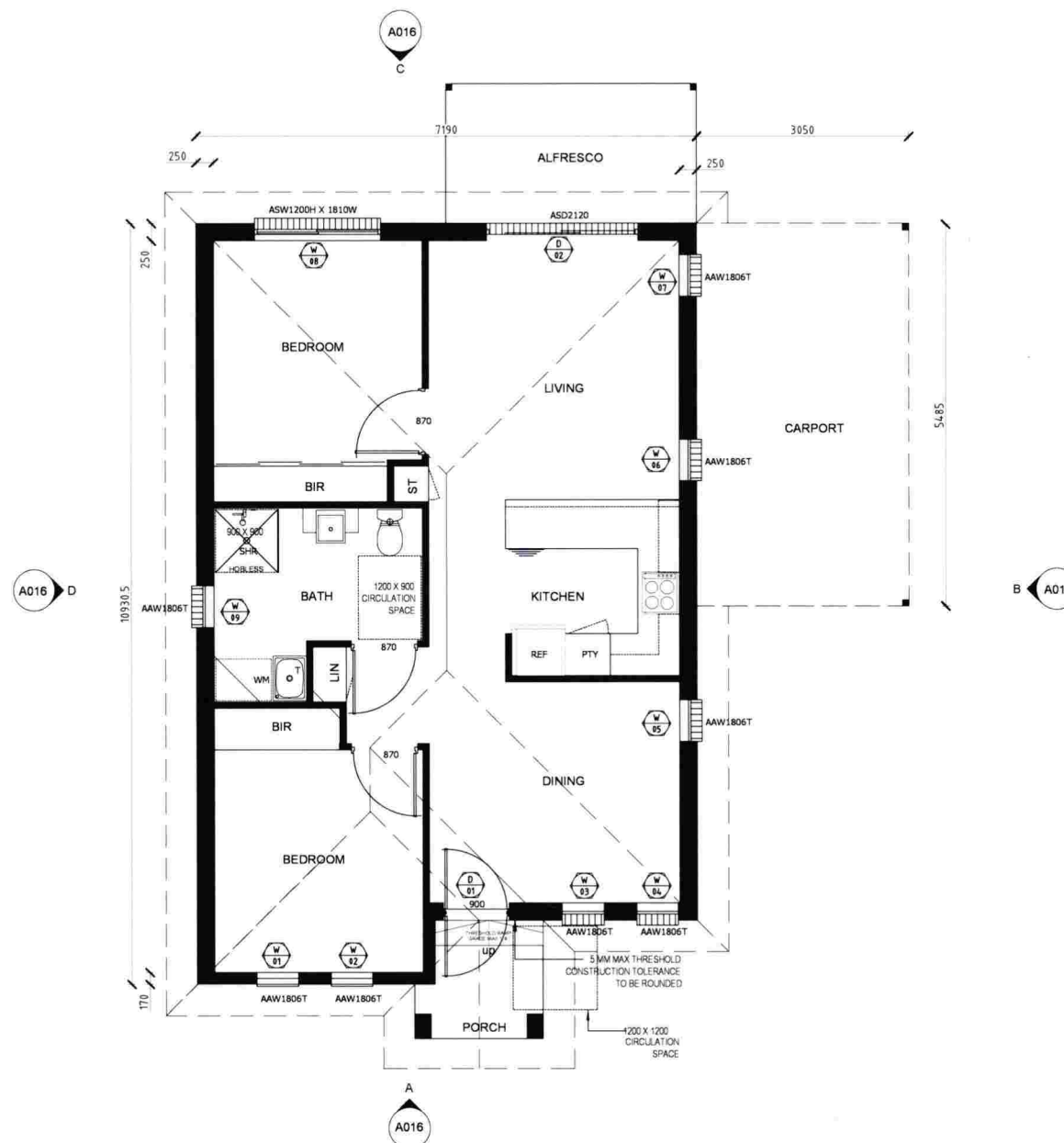
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NOMINATED ARCHITECT:
JAMES BUCKLEY, NSW ARB 8504

DRAWING			
SHADOW DIAGRAMS SHEET 4 OF 4			
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1	A1 SCALE:	A3 SCALE:
IMAGE SOURCE			
STATUS	FOR DA APPROVAL	SHEET	A014 OF A029
			02F



00 TYPE #1 UNIT GROUND FLOOR PLAN (UNIT 1)
SCALE 1:100@A3

GENERAL NOTES:

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APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT



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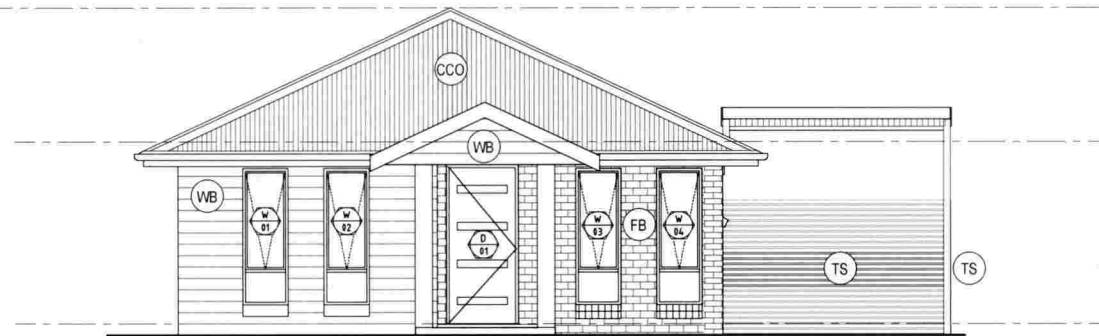
154 PEISLEY STREET
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NOMINATED ARCHITECT
JAMES BUCKLEY, NSW ARB 8504

DRAWING	TYPE #1 UNIT PLAN		
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1	A1 SCALE	A3 SCALE
IMAGE SOURCE			
STATUS	FOR DA APPROVAL	SHEET	A015 OF A029

SET
02F



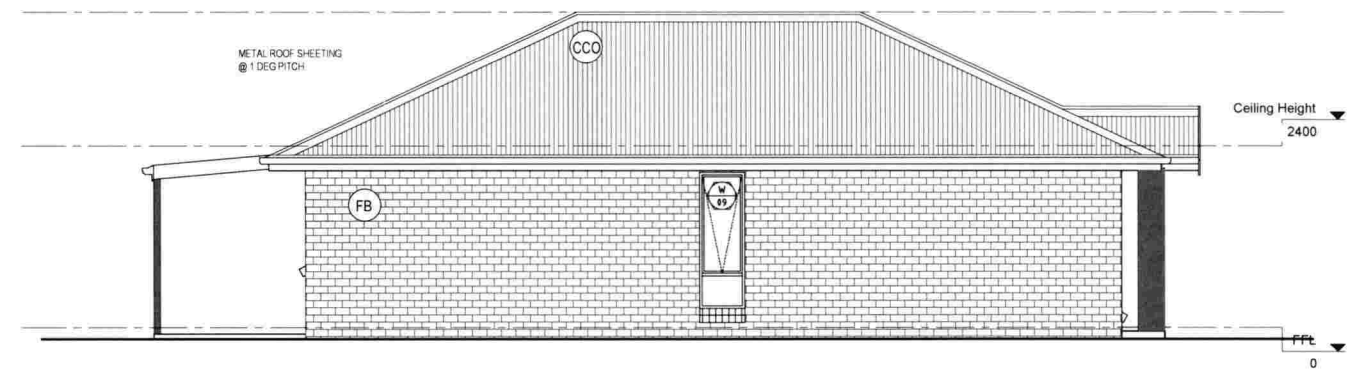
A
A015 FRONT ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



C
A015 REAR ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



B
A015 SIDE ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



D
A015 SIDE ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3

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APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT



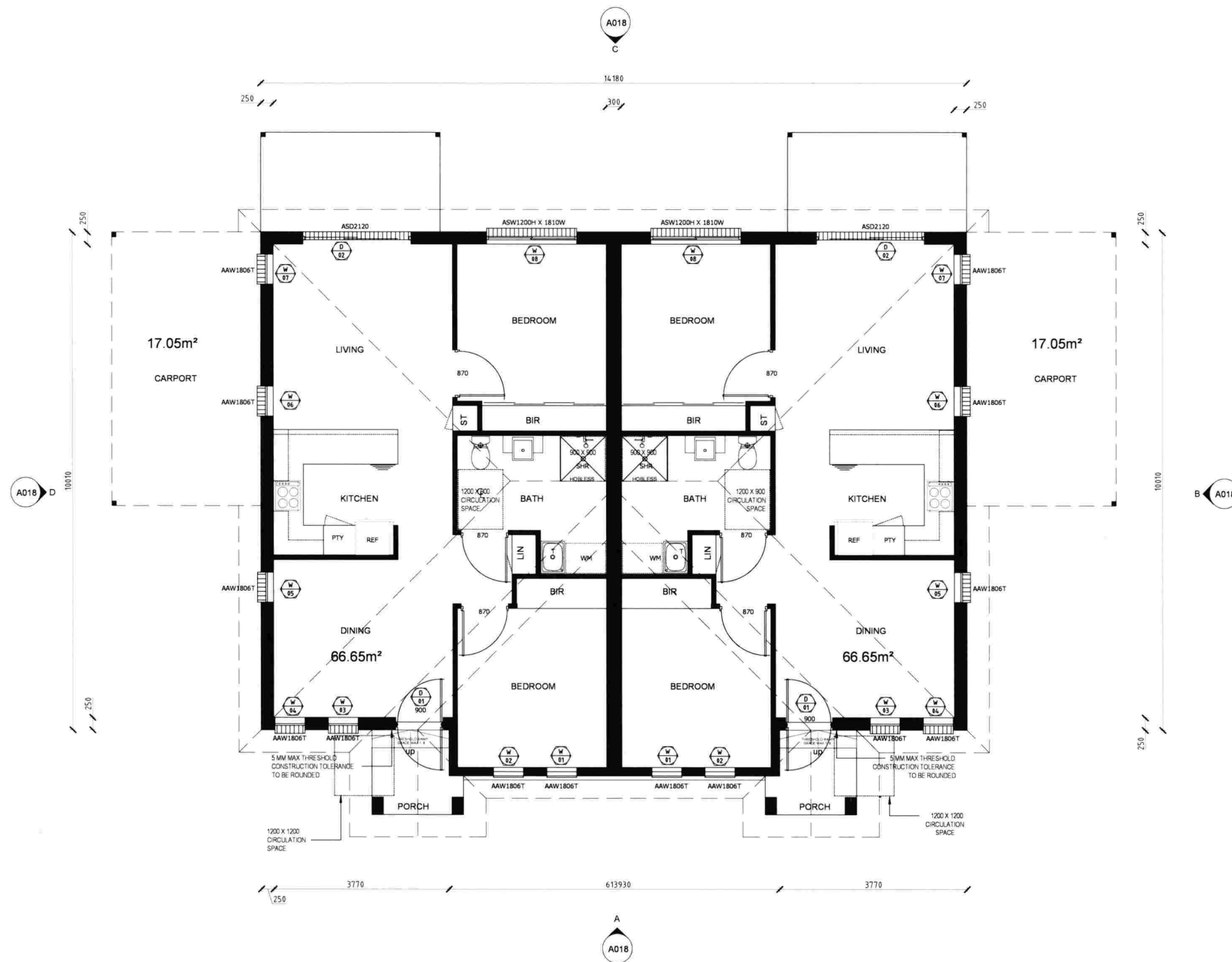
Premise

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ATA+
NOMINATED ARCHITECT
JAMES BUCKLEY NSW ARB 8504

DRAWING				SET
TYPE #1 UNIT ELEVATIONS				02F
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg	
ORIGINAL SIZE	A1	A1 SCALE:	A3 SCALE:	
IMAGE SOURCE				
STATUS FOR DA APPROVAL		SHEET	A016 OF A029	



00 TYPE #2 UNIT GROUND FLOOR PLAN (UNITS 2&3, 5&6, 10&11)
SCALE 1:100@A3

GENERAL NOTES:

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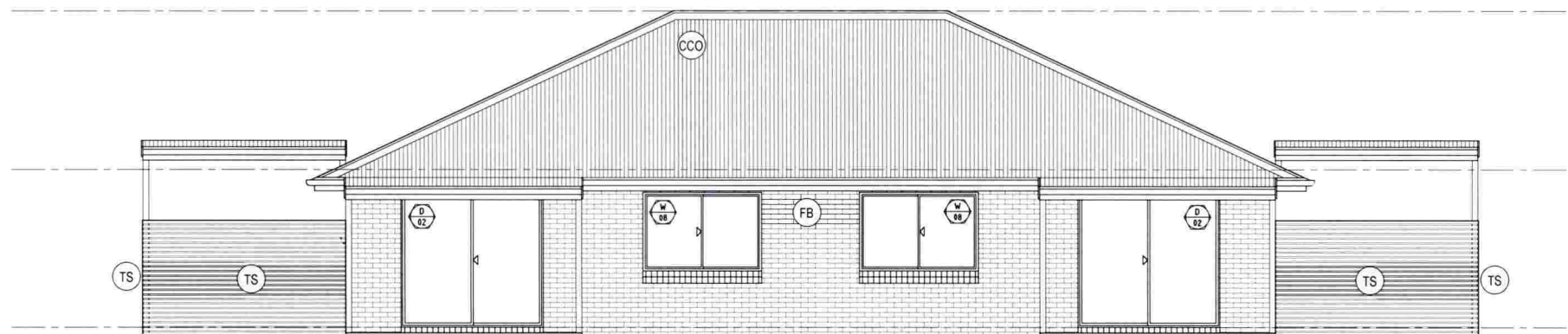
APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT



DRAWING			
TYPE #2 UNIT PLAN			
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1	A1 SCALE	A3 SCALE
IMAGE SOURCE			
STATUS	FOR DA APPROVAL	SHEET	A017 OF A029
			02F



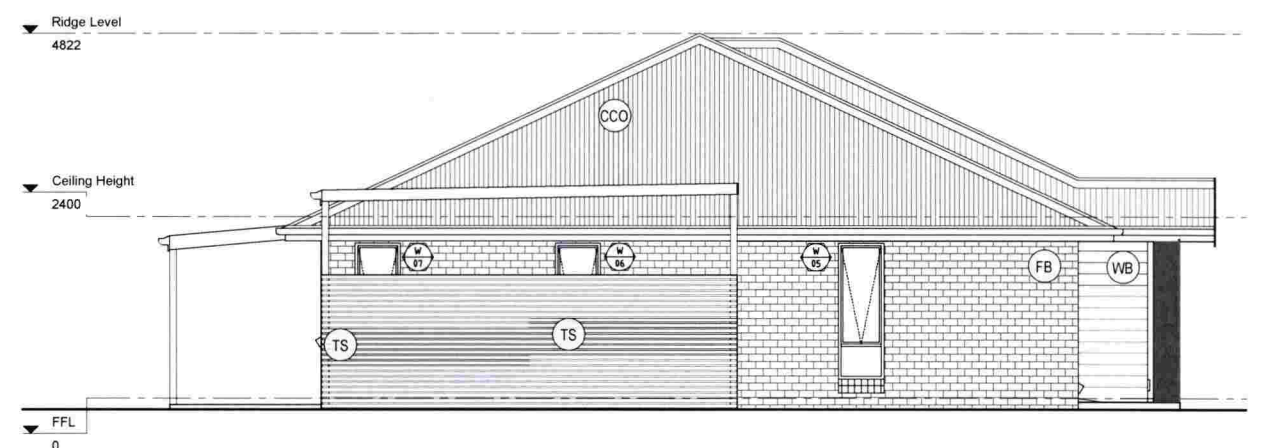
A
A017
FRONT ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



C
A017
REAR ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



B
A017
SIDE ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



D
A017
SIDE ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3

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ARCHITECTURAL APPROVAL				INITIALS DATE

APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT



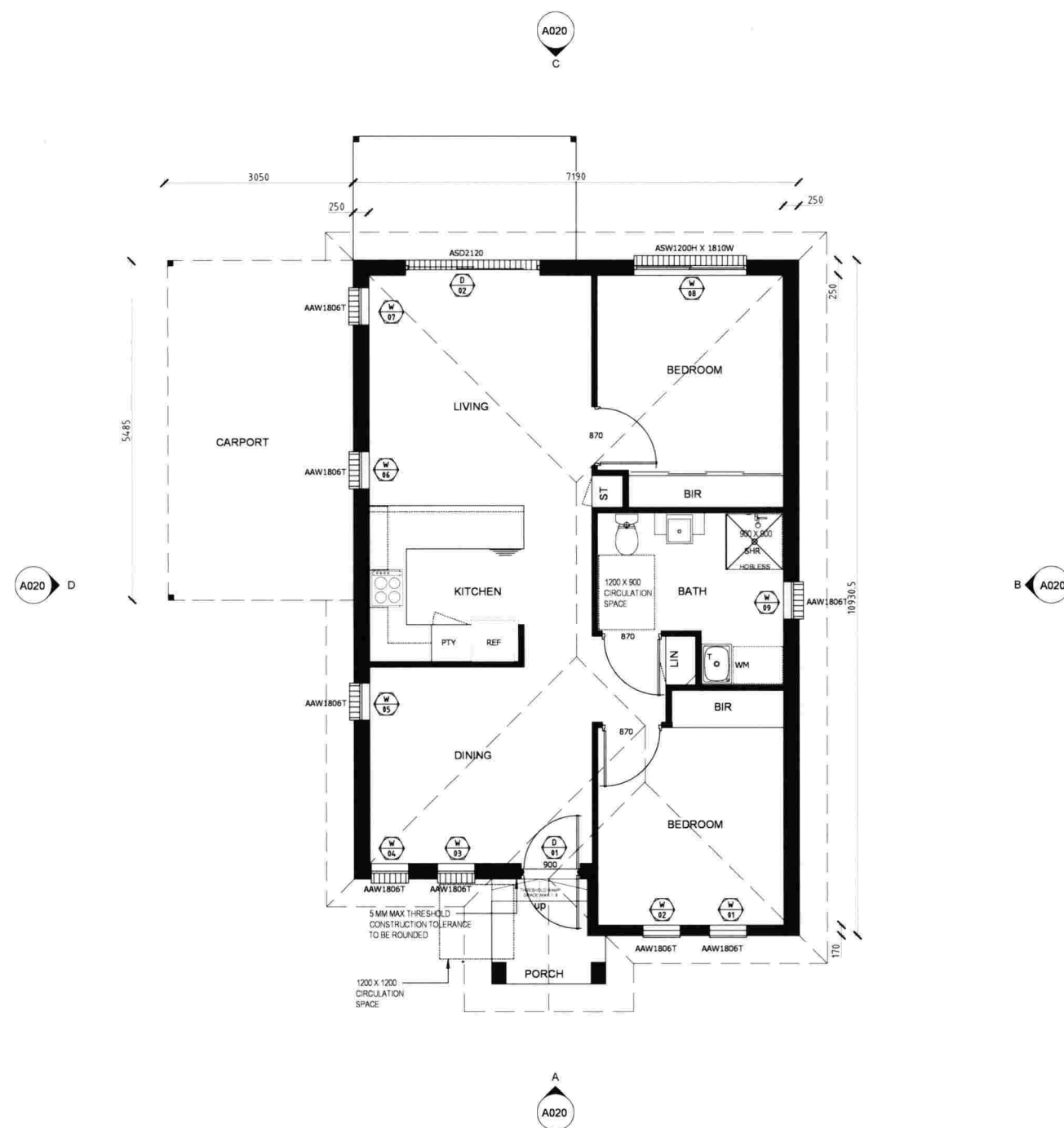
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NOMINATED ARCHITECT
JAMES BUCKLEY, NSW ARB 8504

DRAWING			
TYPE #2 UNIT ELEVATIONS			
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1	A1 SCALE:	A3 SCALE:
IMAGE SOURCE			
STATUS	FOR DA APPROVAL	SHEET	A018 OF A029

02F



00 TYPE #3 UNIT GROUND FLOOR PLAN (UNITS 4 & 7)
SCALE 1:100@A3

GENERAL NOTES:

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CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT



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NOMINATED ARCHITECT:
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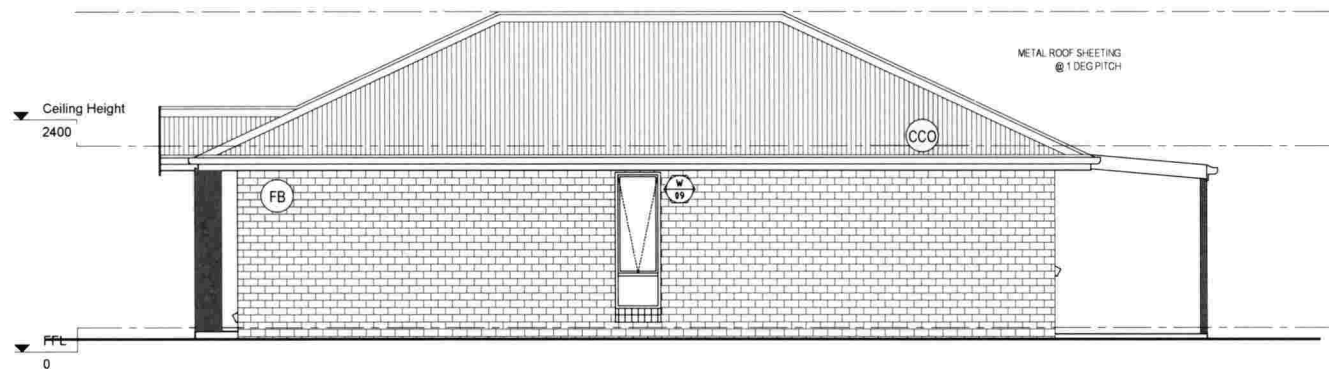
DRAWING			
TYPE #3 UNIT PLAN			
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1	A1 SCALE:	A3 SCALE:
IMAGE SOURCE			
STATUS	FOR DA APPROVAL	SHEET	A019 OF A029
			02F



A
A019 FRONT ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



C
A019 REAR ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



B
A019 SIDE ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



D
A019 SIDE ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3

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ARCHITECTURAL APPROVAL				INITIALS DATE

APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT

Premise

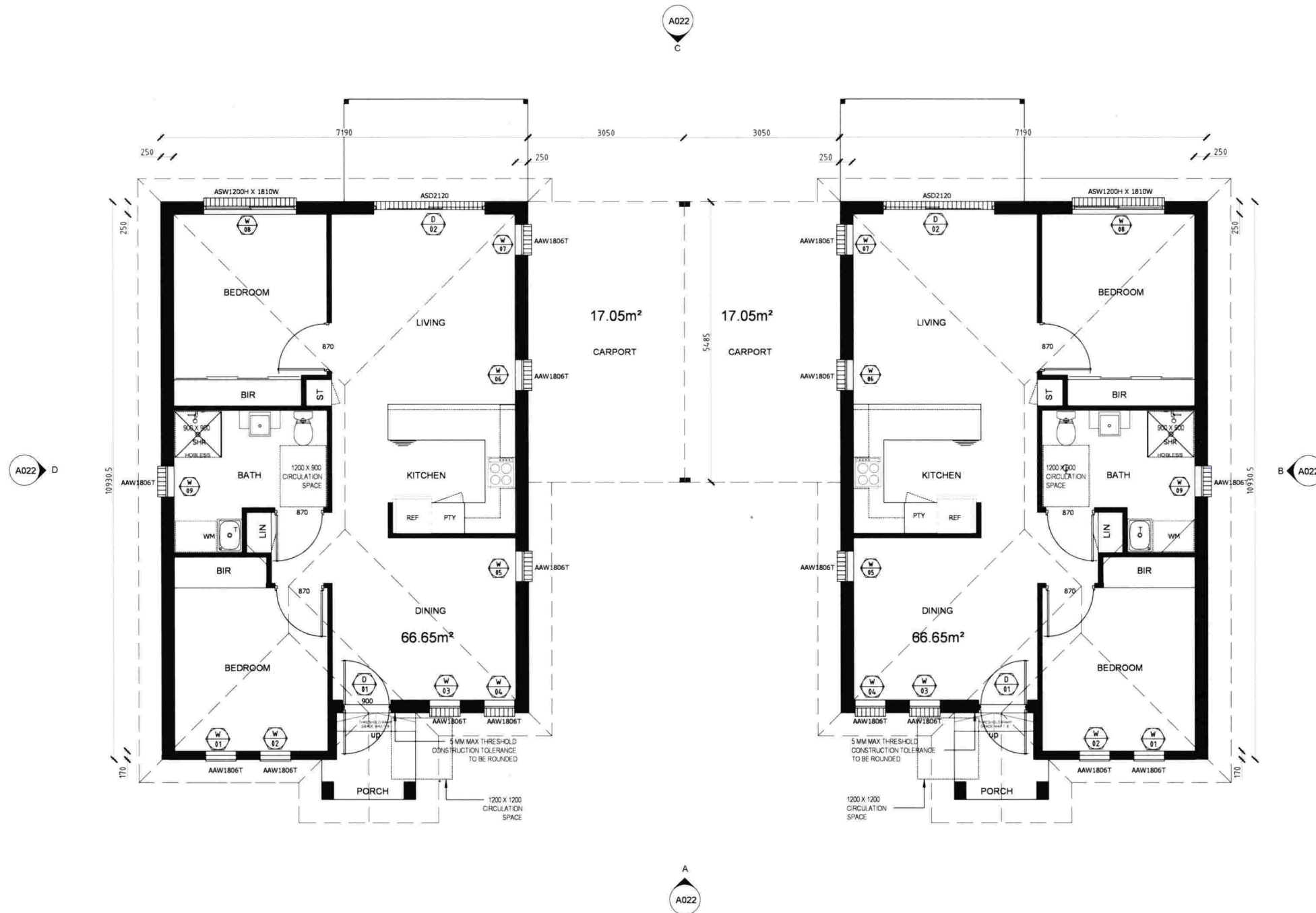
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NOMINATED ARCHITECT
JAMES BUCKLEY, NSW ARB 8504

DRAWING			
TYPE #3 UNIT ELEVATIONS			
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1	A1 SCALE	A3 SCALE
IMAGE SOURCE			
STATUS	FOR DA APPROVAL	SHEET	A020 OF A029

SET
02F



00 TYPE #4 UNIT GROUND FLOOR PLAN (UNITS 8 & 9)
SCALE 1:100@A3

GENERAL NOTES:

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F	06.09.19	GT	JB	ISSUE FOR DA APPROVAL
D	21.08.19	GT	JB	DRAFT ISSUE
E	27.08.19	GT	JB	ISSUE FOR CLIENT INFORMATION
ARCHITECTURAL APPROVAL				INITIALS DATE

APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT



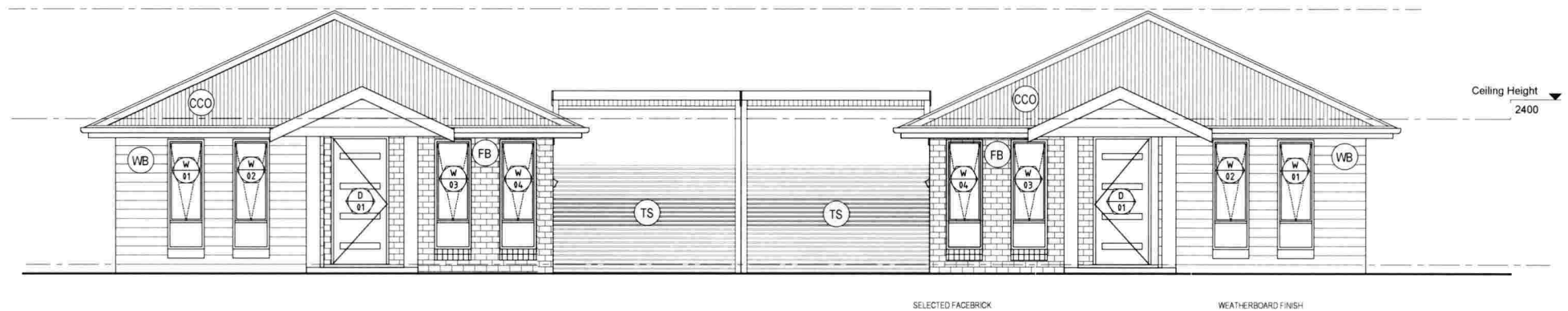
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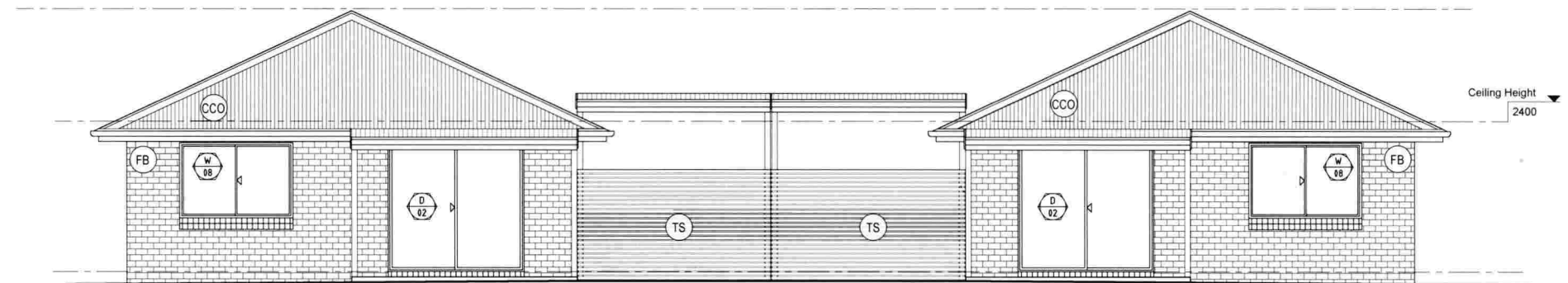
154 PEISLEY STREET
P.O. BOX 1963
ORANGE, NSW 2800
Ph: (02) 6393 5000
Fx: (02) 6393 5050

NOMINATED ARCHITECT:
JAMES BUCKLEY, NSW ARB 8504

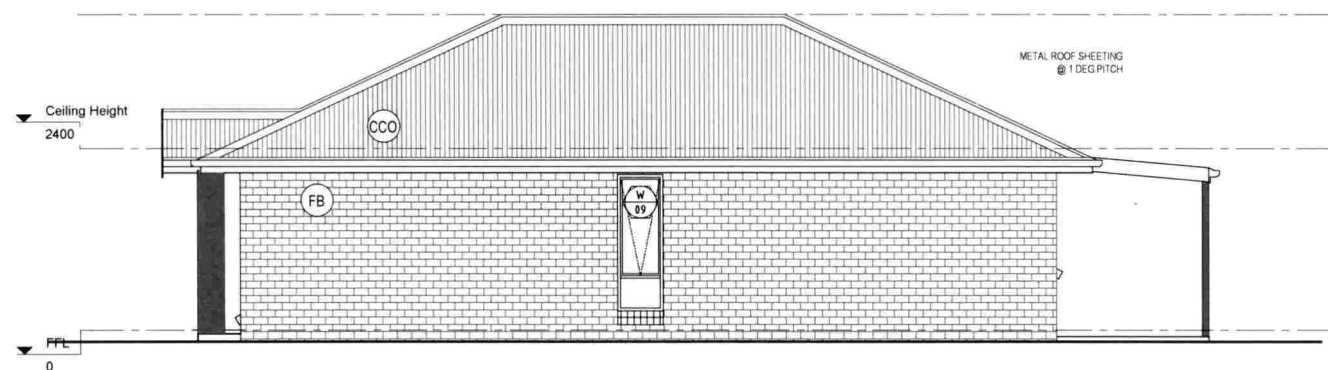
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IMAGE SOURCE		SET		
STATUS FOR DA APPROVAL		SHEET A021 OF A029		02F



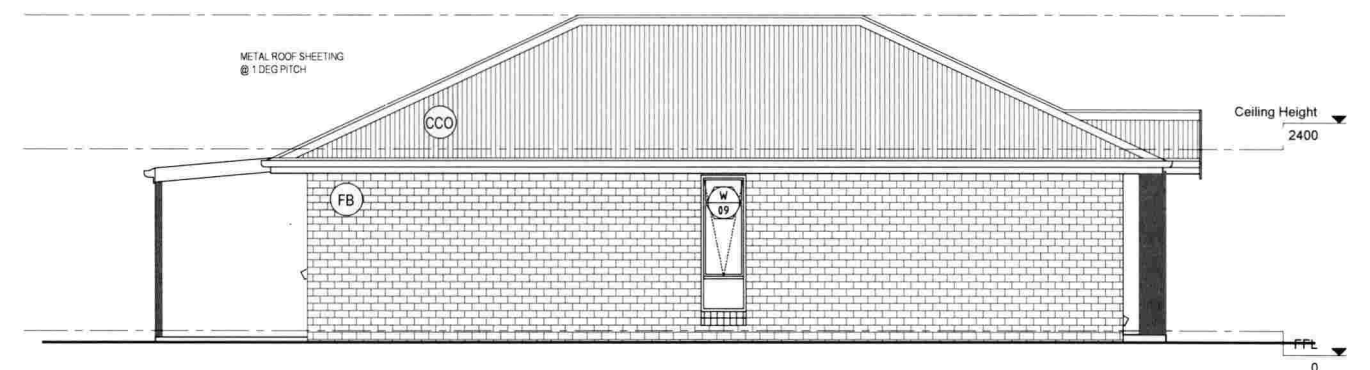
A
A021
FRONT ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



C
A021
REAR ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



B
A021
SIDE ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



D
A021
SIDE ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3

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ARCHITECTURAL APPROVAL				INITIALS DATE

APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT

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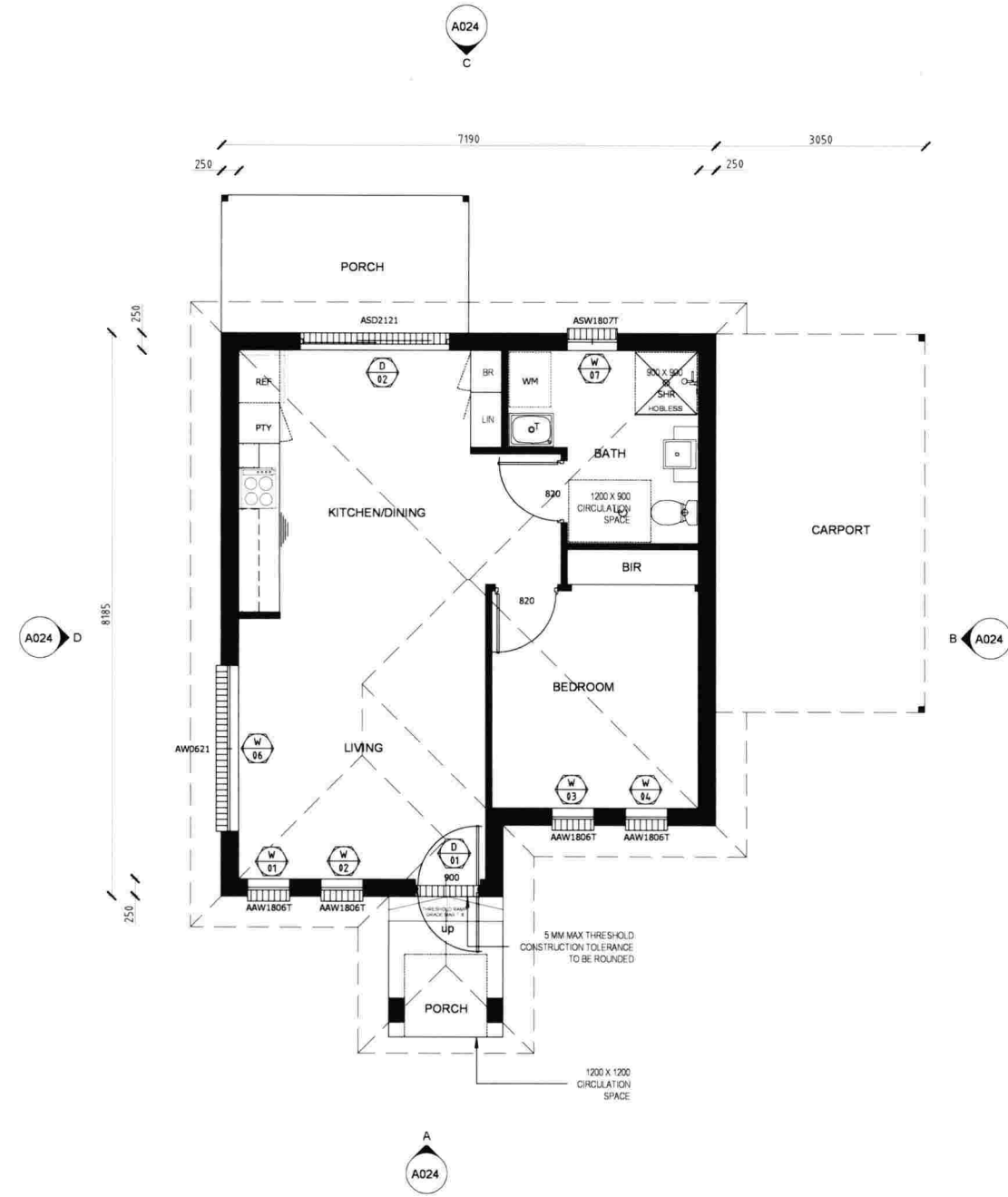
NOMINATED ARCHITECT:
JAMES BUCKLEY, NSW ARB 8504

DRAWING

TYPE #4 UNIT ELEVATIONS

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ORIGINAL SIZE	A1	A1 SCALE:	A3 SCALE:
IMAGE SOURCE:			
STATUS	FOR DA APPROVAL	SHEET	A022 OF A029

02F



00 TYPE #5 UNIT GROUND FLOOR PLAN (UNITS 12,16,17,18 & 19)
SCALE 1:100@A3

GENERAL NOTES:

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APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT

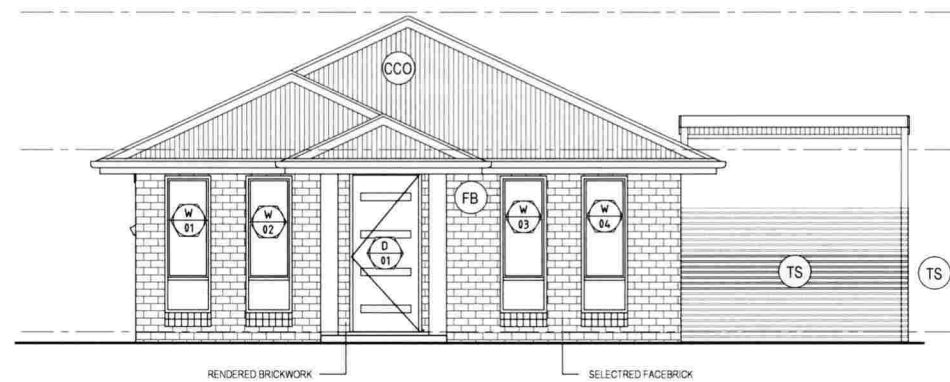
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NOMINATED ARCHITECT:
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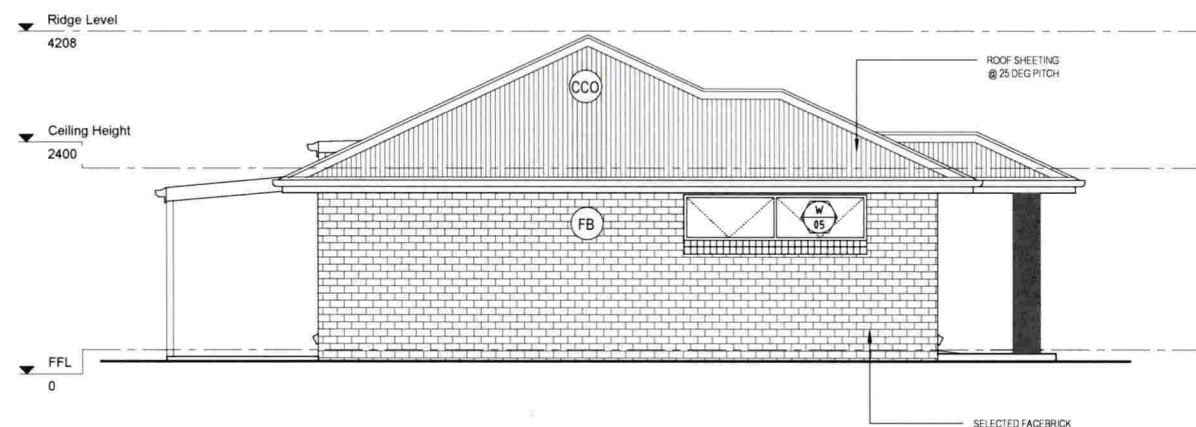
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IMAGE SOURCE			
STATUS FOR DA APPROVAL	SHEET A023	OF A029	02F



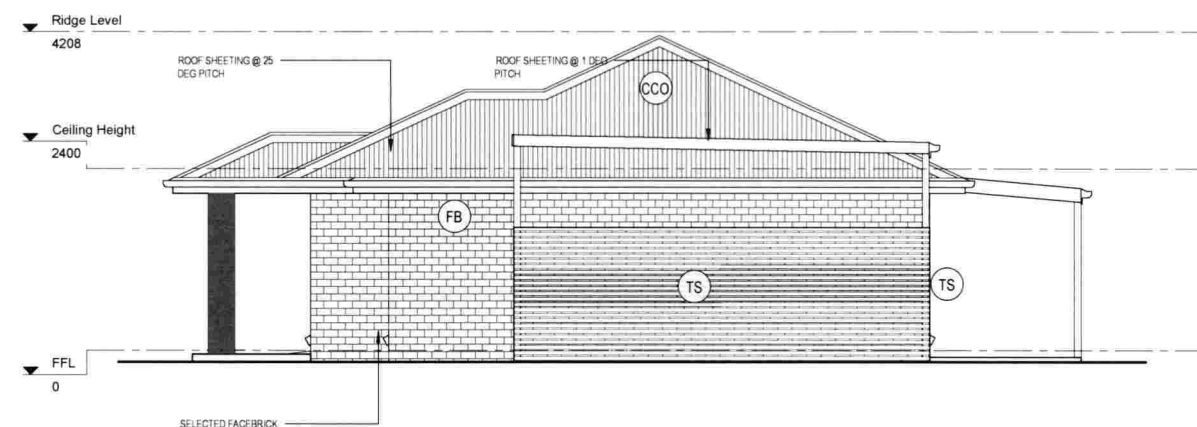
A
A023
FRONT ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



C
A023
REAR ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



D
A023
SIDE ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



B
A023
SIDE ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3

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CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT



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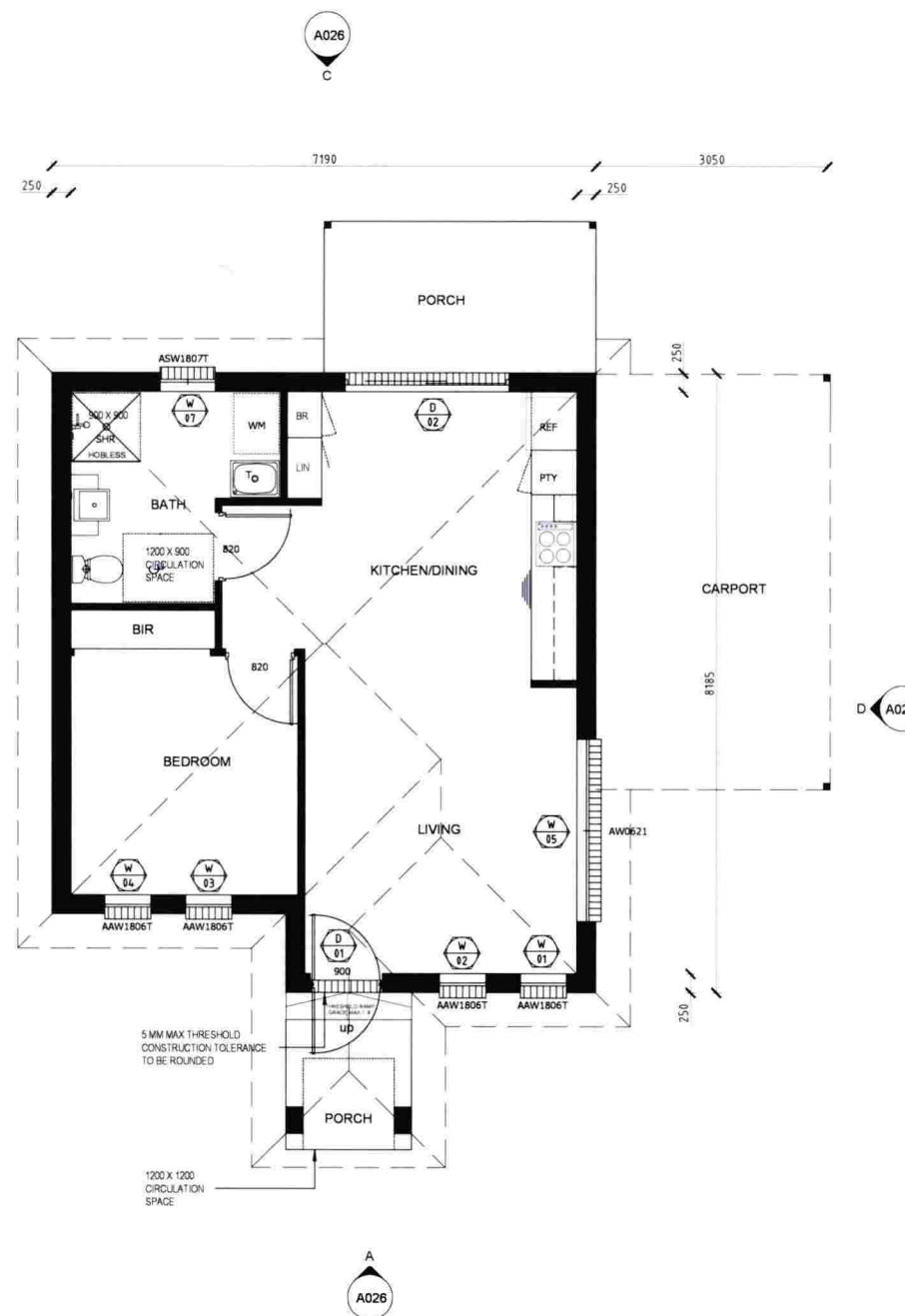
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NOMINATED ARCHITECT:
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DRAWING			
TYPE #5 UNIT ELEVATIONS			
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ORIGINAL SIZE	A1	A1 SCALE:	A3 SCALE:
IMAGE SOURCE			
STATUS	FOR DA APPROVAL	SHEET	A024 OF A029

02F



00 TYPE #6 UNIT GROUND FLOOR PLAN (UNIT 13)
SCALE 1:100@A3

GENERAL NOTES:

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APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT



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NOMINATED ARCHITECT
JAMES BUCKLEY, NSW ARB 8504

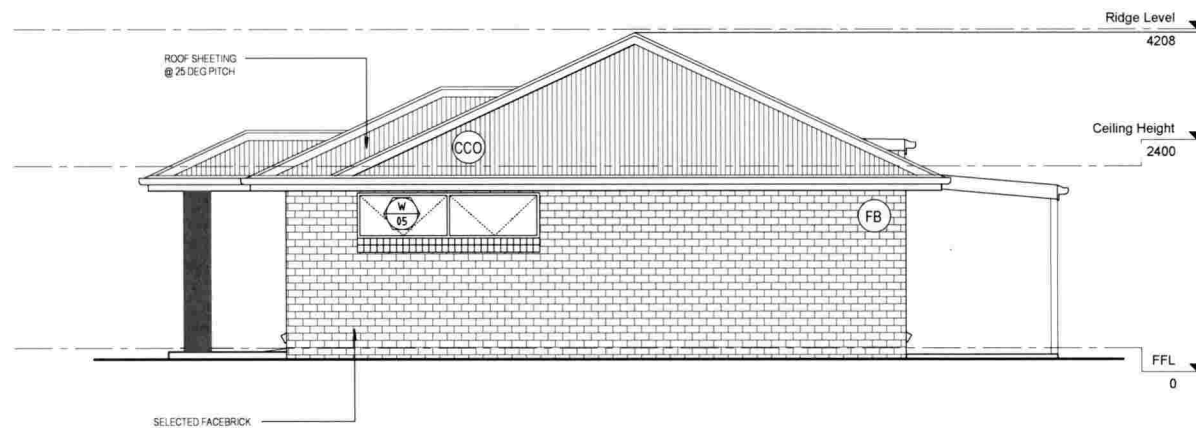
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STATUS	FOR DA APPROVAL	SHEET	A025 OF A029
			02F



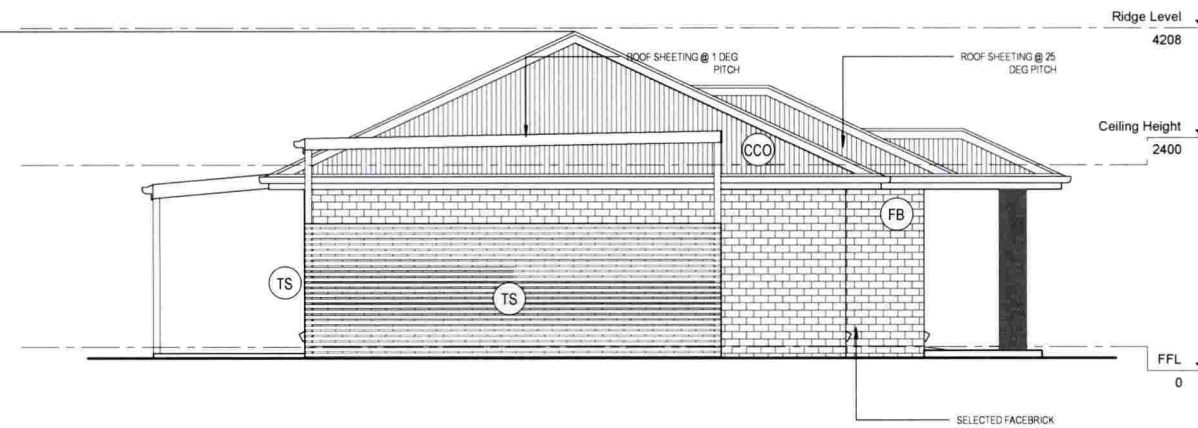
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A025 SCALE 1:50 AT A1, 1:100 AT A3



C REAR ELEVATION
A025 SCALE 1:50 AT A1, 1:100 AT A3



B SIDE ELEVATION
A025 SCALE 1:50 AT A1, 1:100 AT A3



D SIDE ELEVATION
A025 SCALE 1:50 AT A1, 1:100 AT A3

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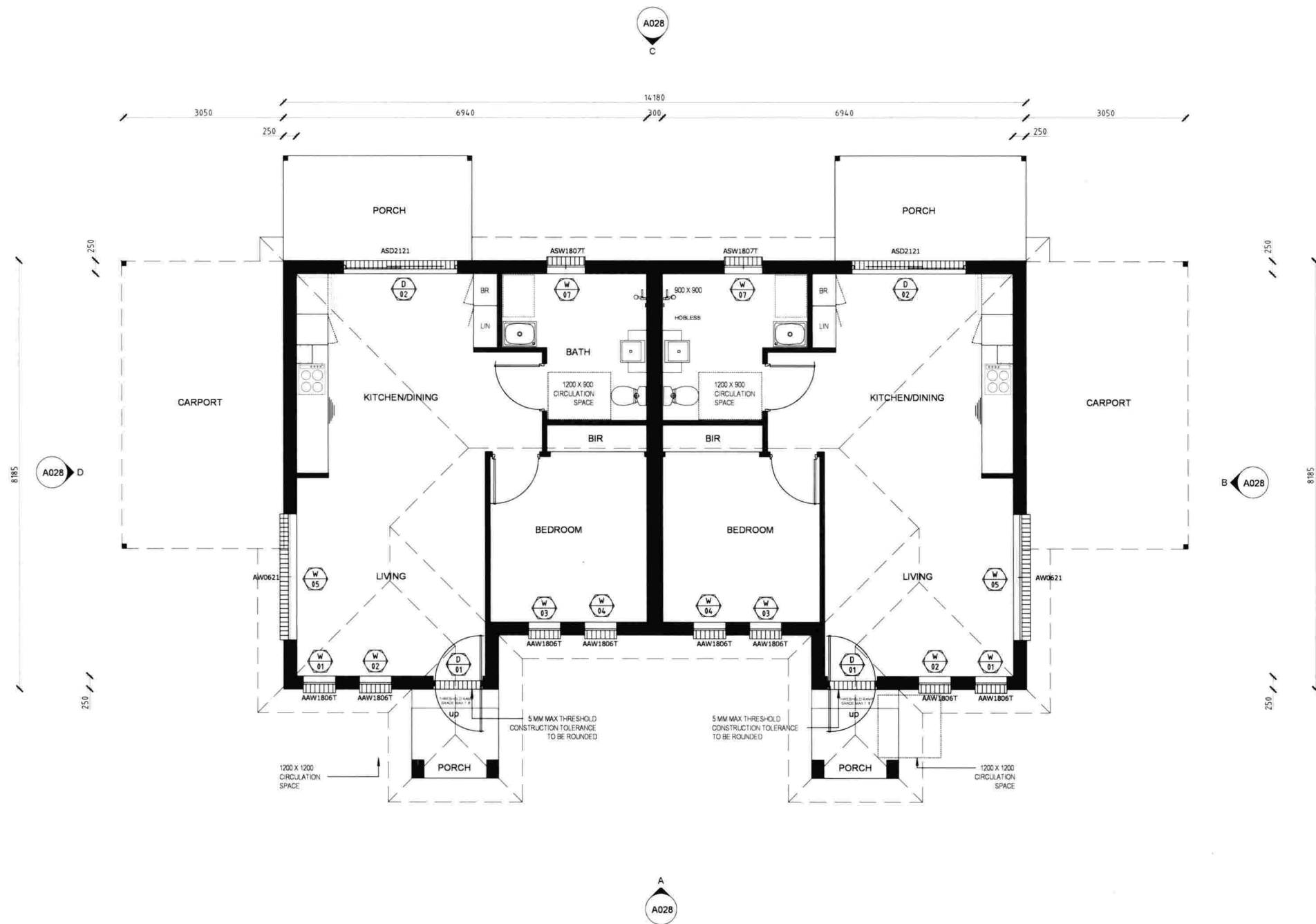
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JAMES BUCKLEY, NSW ARB 8504

DRAWING			
TYPE #6 UNIT ELEVATIONS			
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1	A1 SCALE:	A3 SCALE:
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STATUS	FOR DA APPROVAL	SHEET	A026 OF A029



00 TYPE #7 UNIT GROUND FLOOR PLAN (UNITS 14&15)
SCALE 1:100@A3

GENERAL NOTES:

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ARCHITECTURAL APPROVAL				INITIALS DATE

APPROVAL AUTHORITY	ORANGE CITY COUNCIL
CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT

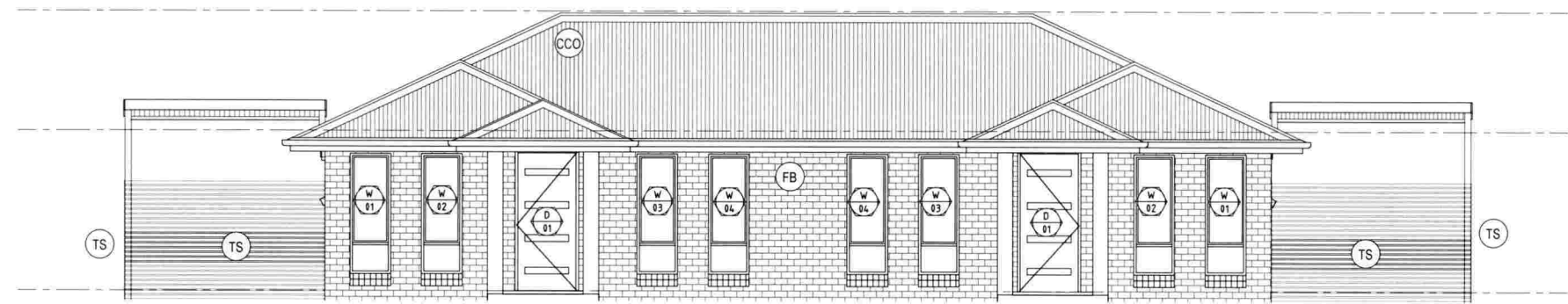
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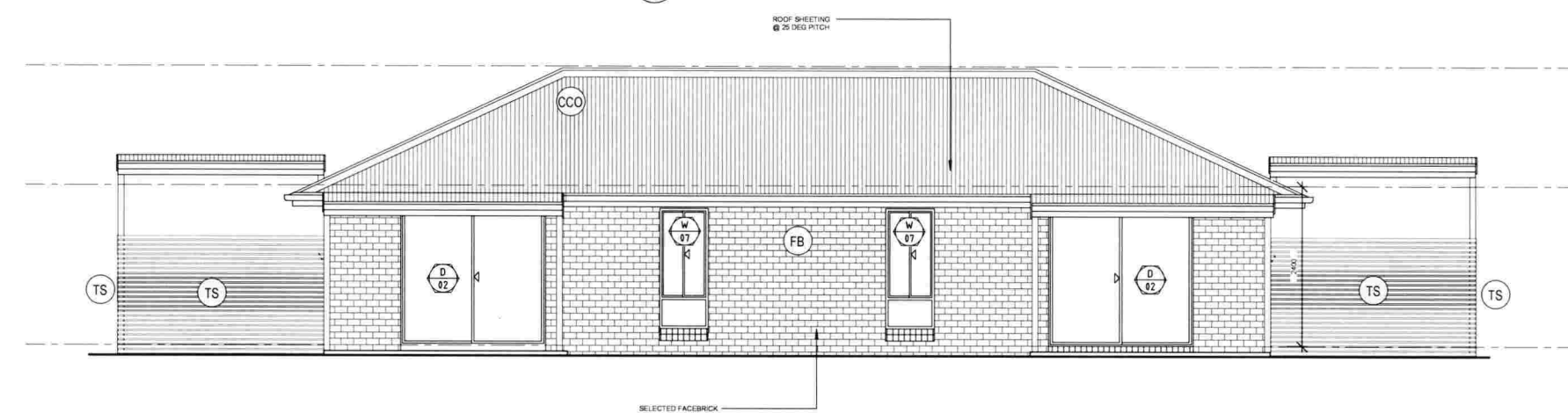
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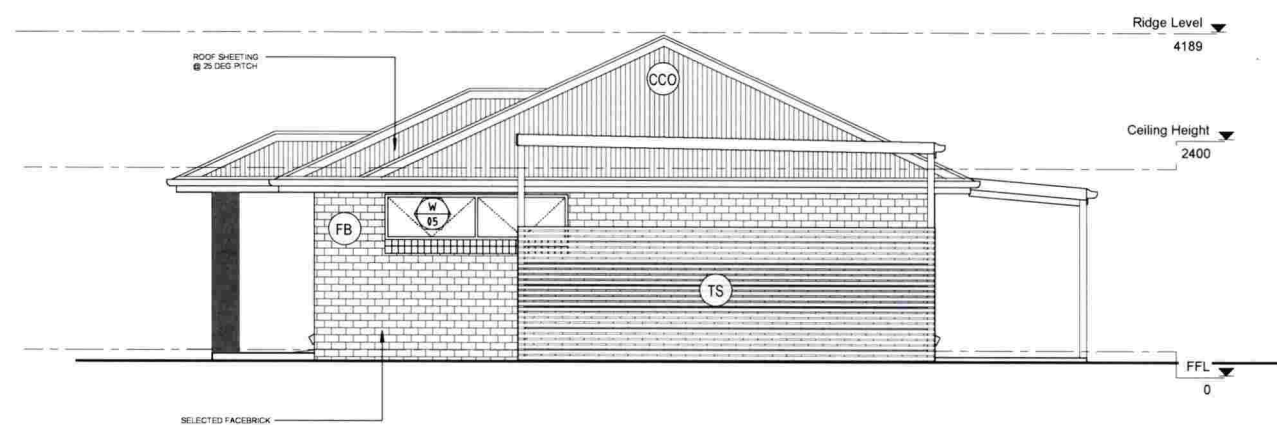
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STATUS	FOR DA APPROVAL	SHEET	A027 OF A029
			02F



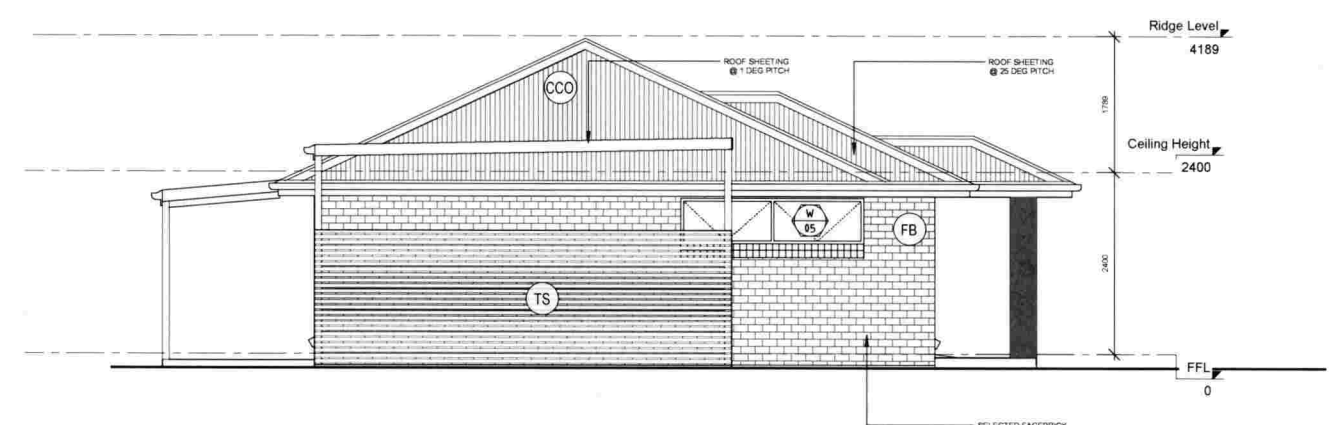
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A027
FRONT ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



C
A027
REAR ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



B
A027
SIDE ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3



D
A027
SIDE ELEVATION
SCALE 1:50 AT A1, 1:100 AT A3

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CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT

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NOMINATED ARCHITECT
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DRAWING			
TYPE #7 UNIT ELEVATIONS			
PROJECT NUMBER 219391	DRAWING FILE 219391_02F-A000-A029.dwg		
ORIGINAL SIZE A1	A1 SCALE	A3 SCALE	SET
IMAGE SOURCE			
STATUS FOR DA APPROVAL	SHEET A028	OF A029	02F



FB - DWELLINGS BRICK WALLS



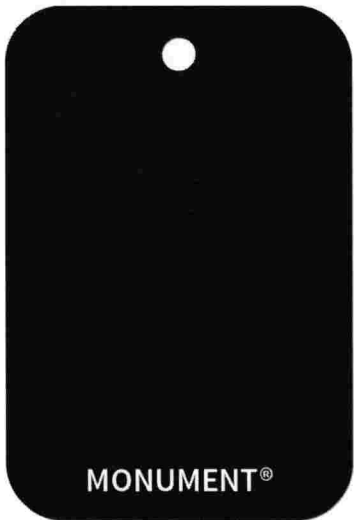
WB - DWELLINGS SUPAWOOD ARCH. CLADDING



TS - CARPORTS SUPAWOOD ARCH. CLADDING

EXTERNAL FINISHES SCHEDULE

ITEM	TAG (SHOWN ON ELEVATIONS)	MANUFACTURER/SUPPLIER & TYPE
FACE BRICK	FB	AUSTRAL - BOWRAL BLUE
MORTAR	ALL AREAS	BLACK
FEATURE BRICK	PORCH COLUMNS ONLY	AUSTRAL - SUBLIME STEEL
ROOFING	CCO	COLORBOND CUSTOM ORB - WOODLAND GREY
FASCIA, GUTTER & DOWNPIPES		COLORBOND - MONUMENT
WINDOW FRAMES		COLORBOND - MONUMENT
DWELLING WALL CLADDING	WB	SUPAWOOD - DRIFTWOOD WHITEWASHED
CARPORT TIMBER SLATS	TS	SUPAWOOD - DRIFTWOOD BLACK



FASCIA, GUTTER & DOWNPIPES



CCO - CUSTOM ORB
COLORBOND ROOF SHEETING

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CLIENT	HOUSING PLUS
PROJECT	EMERALD STREET, ORANGE MULTI UNIT HOUSING DEVELOPMENT

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NOMINATED ARCHITECT
JAMES BUCKLEY, NSW ARB 8504

EXTERNAL MATERIALS SCHEDULE			
PROJECT NUMBER	219391	DRAWING FILE	219391_02F-A000-A029.dwg
ORIGINAL SIZE	A1	A1 SCALE:	A3 SCALE:
IMAGE SOURCE			
STATUS	FOR DA APPROVAL	SHEET	A029 OF A029



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Office: 01203 166 729
Mobile: 07539 166 729

LANDSCAPE PLAN
Erinella Street
Oxford OX4 1JH
LOT 90 DP 124441

Date: 4.9.2019
Scale: 1:200 B.A.1

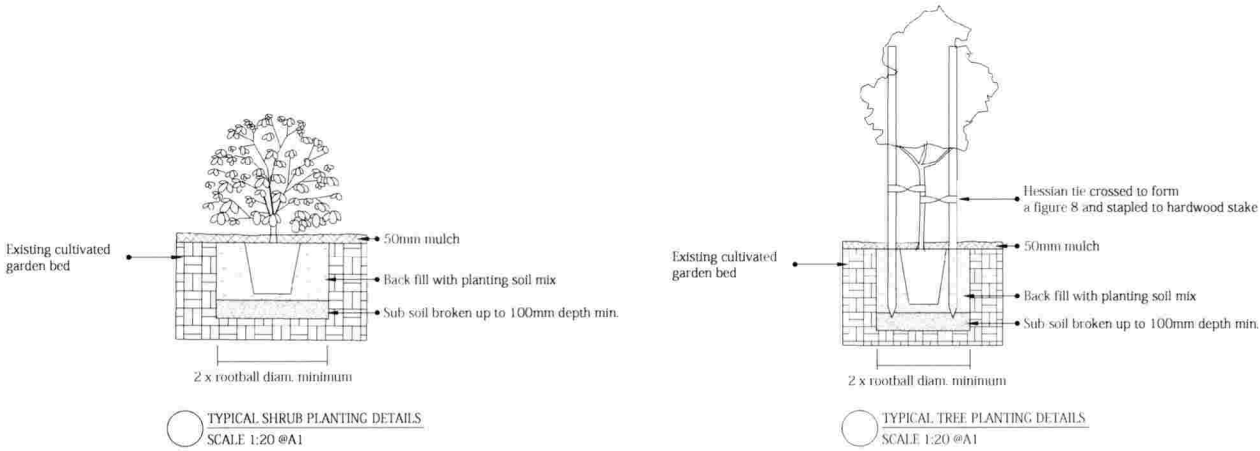


PAGE
1/2

PLANT SCHEDULE



SYMBOL	COMMON NAME	BOTANICAL NAME	ATTRIBUTES	POT SIZE	QUANTITY	EST H X W
	Aussie Flat Bush	Rhagodia spinescens 'SAB01'	Vivid blue grey foliage and dense mounding habit. Habitat for lizards and small birds.	150mm	18	0.3m -0.5m x 1m
	Lomandra NYALLA	Lomandra longifolia 'LM400'	Textural contrast to mounded plants. Adds movement and vertical interest to landscape. Food source for insects.	140mm	47	0.8m x 0.8m
	Westringia 'Wynyabbie Gem'	Westringia fruticosa 'Wynyabbie Gem'	Silvery green foliage. Mauve-pink flowers. Food source for nectar eating birds and insects.	150mm	36	Pruned to rounds up to 1.5m x 1.5m
	'Cassa Blue' Dianella	Dianella caerulea 'DBB03'	Contrasting rich blue, upright sword-like foliage. Purple and yellow flowers. Food source for seed eating birds.	Tube stock	174	0.5m x 0.4m
	Liriope 'Amethyst'	Liriope muscari 'LIRTP'	Lush deep green tufted foliage. Seasonal deep purple flowering interest. Insect attracting.	Tube stock	112	0.4m x 0.4m
	'Endeavour' Bottlebrush	Callistemon citrinus 'Endeavour'	Upright form, excellent for hedging. Seasonal flowering interest. Food source and habitat for birds.	150mm	56	Up to 3m x 1.5m pruned 1.8m high at letterbox
	'Little John' Bottlebrush	Callistemon 'Little John'	Compact, rounded form. Blue-green foliage. Seasonal flower interest. Food source and habitat for birds.	200mm	42	1.0m x 1.0m
	'Pennstripe' Foxtail Grass	Pennisetum alopecuroides 'Pennstripe'	Accent plant adding movement and textural contrast. Variegated foliage and seasonal flower interest.	Tube stock	183	0.5m x 0.5m
	Fairy Fan 'Mauve Clusters'	Scaevola aemula 'Mauve Clusters'	Foundation planting. Seasonal flower interest. Insect attracting. Foliage affected by heavy frosts but recovers quickly.	140mm	195	0.4m x 0.5m
	Correa 'Autumn Blaze'	Correa pulchella 'Autumn Blaze'	Foundation planting. Seasonal flower interest. Food source for nectar eating birds and insects in winter.	150mm	73	0.3m x 1.0m
	Flamin Flax	Phormium tenax 'PHOS3'	Contrast, accent plant. Upright foliage in tones of red, orange and bronze.	150mm	15	0.9m x 0.9m
	Ornamental Pear 'Southworth Dancer'	Pyrus betulaefolia 'Southworth Dancer'	Fast growing shade tree. White spring flowers. Autumn colour. Deciduous	25L	5	7m x 4m



FINISHES SCHEDULE

ITEM	MATERIAL
Soil	Plant species chosen, require good drainage in order to flourish. All soil compaction from machinery must be dealt with prior to landscaping. The use of quality organic matter and gypsum to enrich the soil is essential. Products such as 'Native Low P' mix and Greenlife Mulch & Compost from Australian Native Landscapes are ideal.
Mulch	Droughtmaster Mulch (ANL)
Garden Edge	Corten Steel Garden Edging 100mm height profile
Irrigation	Drip irrigation system garden beds. MP Rotator sprinklers lawn areas
Fencing External Streetscape	1.8m high Colorbond
Fencing Internal Streetscape	1.8m high Colorbond

PLEASE NOTE:
DO NOT PLANT IN UNSUITABLE WEATHER CONDITIONS SUCH AS EXTREME HEAT, COLD, WIND OR RAIN.
GOOD SOIL, DRAINAGE IS ESSENTIAL. FOR PLANT HEALTH AND CLAY SOILS MUST BE TREATED WITH GYPSUM AND QUALITY ORGANIC MATTER


MUTLI UNIT HOUSING DEVELOPMENT
EMERALD STREET, ORANGE NSW 2800
HOUSING PLUS
DEVELOPMENT APPLICATION CIVIL ENGINEERING PLANS



LOCALITY PLAN
NTS

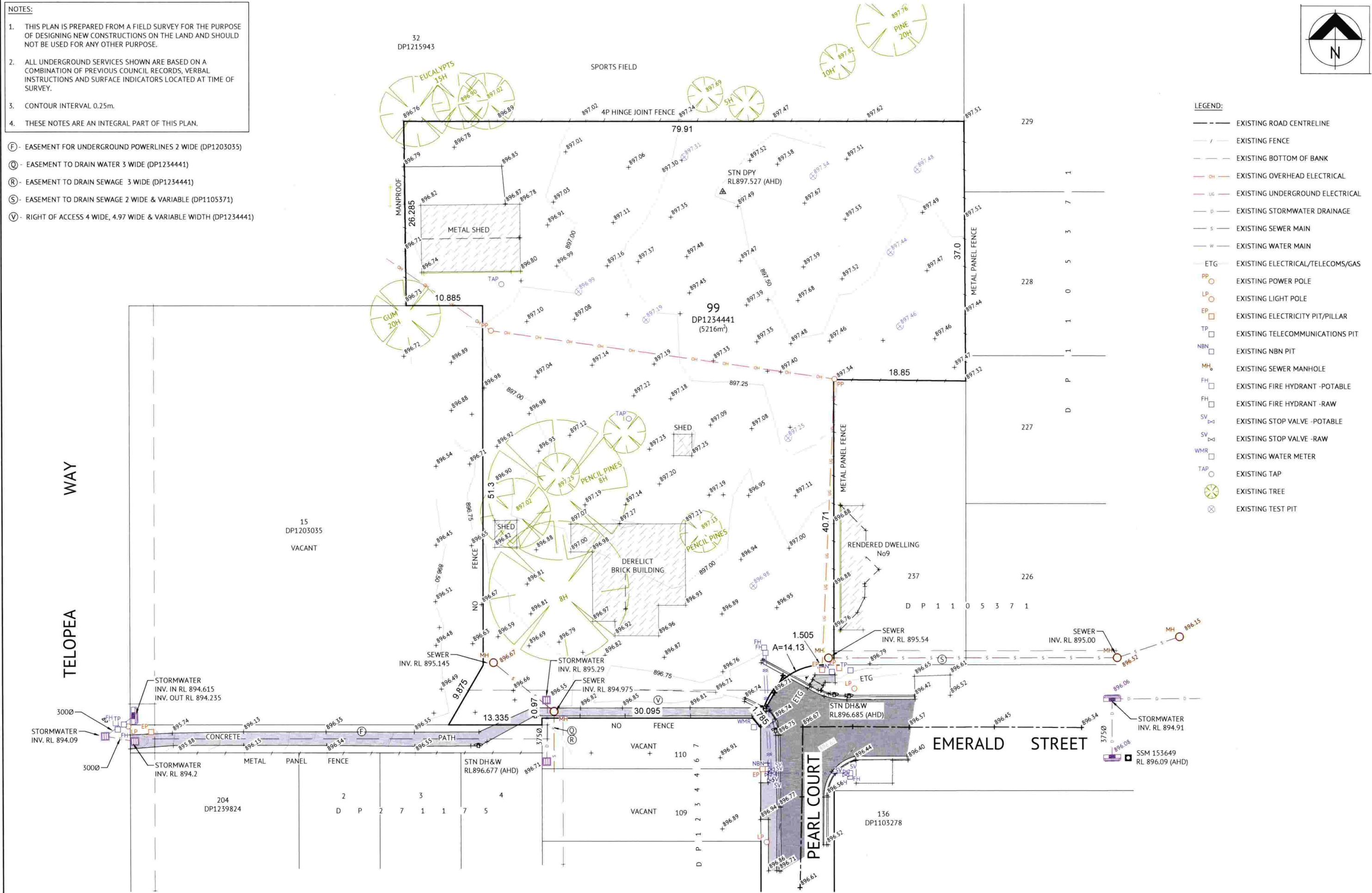
Sheet List Table	
Sheet Number	Sheet Title
C001	TITLE SHEET AND SCHEDULE OF DRAWINGS
C002	EXISTING SITE PLAN
C003	PROPOSED SITE PLAN
C004	CONCEPT SEWER RETICULATION PLAN
C005	CONCEPT STORMWATER RETICULATION PLAN
C006	CONCEPT WATER RETICULATION PLAN




FOR APPROVAL				 ORANGE OFFICE 154 PEISLEY STREET ORANGE, NSW 2800 PH: (02) 6393 5000 WEB: www.premise.com.au		DESIGNED MY		SCALE	CLIENT HOUSING PLUS		JOB CODE 219391_03	
06/09/19 B FOR DA APPROVAL MY PPO 22/08/19 A FOR APPROVAL MY PPO DATE REV DESCRIPTION REC APP						CHECKED PPO PROJECT MANAGER JB ENGINEERING CERTIFICATION			PROJECT MUTLI UNIT HOUSING DEVELOPMENT LOCATION EMERALD STREET, ORANGE NSW 2800 SHEET TITLE TITLE SHEET AND SCHEDULE OF DRAWINGS		SHEET NUMBER C001 REV B	

- NOTES:
1. THIS PLAN IS PREPARED FROM A FIELD SURVEY FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 2. ALL UNDERGROUND SERVICES SHOWN ARE BASED ON A COMBINATION OF PREVIOUS COUNCIL RECORDS, VERBAL INSTRUCTIONS AND SURFACE INDICATORS LOCATED AT TIME OF SURVEY.
 3. CONTOUR INTERVAL 0.25m.
 4. THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN.

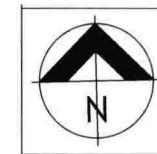
- (F) - EASEMENT FOR UNDERGROUND POWERLINES 2 WIDE (DP1203035)
(Q) - EASEMENT TO DRAIN WATER 3 WIDE (DP1234441)
(R) - EASEMENT TO DRAIN SEWAGE 3 WIDE (DP1234441)
(S) - EASEMENT TO DRAIN SEWAGE 2 WIDE & VARIABLE (DP1105371)
(V) - RIGHT OF ACCESS 4 WIDE, 4.97 WIDE & VARIABLE WIDTH (DP1234441)



FOR APPROVAL				 ORANGE OFFICE 154 PEISLEY STREET ORANGE, NSW 2800 PH: (02) 6393 5000 WEB: www.premise.com.au	DESIGNED MY CHECKED PPO PROJECT MANAGER JB ENGINEERING CERTIFICATION	SCALE 0 5 10 15m SCALE 1:250 (A1) ORIGINAL SHEET SIZE A1	CLIENT HOUSING PLUS		JOB CODE 219391_03
PROJECT MUTLI UNIT HOUSING DEVELOPMENT		SHEET NUMBER C002							
LOCATION EMERALD STREET, ORANGE NSW 2800			REV B						
SHEET TITLE EXISTING SITE PLAN									
06/09/19 22/08/19 DATE	B A REV	FOR DA APPROVAL FOR APPROVAL DESCRIPTION	MY MY REC	PPO PPO APP					

32
DP1215943

SPORTS FIELD



LEGEND:

- EXISTING ROAD CENTRELINE
- EXISTING FENCE
- EXISTING BOTTOM OF BANK
- EXISTING OVERHEAD ELECTRICAL
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING STORMWATER DRAINAGE
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING ELECTRICAL/TELECOMS/GAS
- EXISTING POWER POLE
- EXISTING LIGHT POLE
- EXISTING ELECTRICITY PIT/PILLAR
- EXISTING TELECOMMUNICATIONS PIT
- EXISTING NBN PIT
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT - POTABLE
- EXISTING FIRE HYDRANT - RAW
- EXISTING STOP VALVE - POTABLE
- EXISTING STOP VALVE - RAW
- EXISTING WATER METER
- EXISTING TAP
- EXISTING TREE
- EXISTING TEST PIT
- PROPOSED SEWER MAIN
- PROPOSED STORMWATER MAIN
- PROPOSED POTABLE WATER MAIN
- PROPOSED RAW WATER MAIN
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER MAINTENANCE SHAFT
- PROPOSED STORMWATER PIT

WAY

TELOPEA

15
DP1203035
VACANT

204
DP1239824

2 3 4
D P 2 7 1 1 7 5

VACANT 110
VACANT 109
D P 1 2 3 4 6 7

EMERALD STREET

136
DP1103278

PEARL COURT

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FOR REVIEW

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06/09/19	B	FOR DA APPROVAL	MY	PPD
22/08/19	A	FOR APPROVAL	MY	PPD
DATE	REV	DESCRIPTION	REC	APP



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CHECKED
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PROJECT MANAGER
JB
ENGINEERING CERTIFICATION

SCALE
0 5 10 15m
SCALE 1:250 (A1)
ORIGINAL SHEET SIZE A1

CLIENT
HOUSING PLUS
PROJECT
MUTLI UNIT HOUSING DEVELOPMENT
LOCATION
EMERALD STREET, ORANGE NSW 2800
SHEET TITLE
PROPOSED SITE PLAN

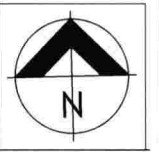
JOB CODE
219391_03
SHEET NUMBER
C003
REV
B

SEWER NOTES:

1. THIS PLAN HAS BEEN PREPARED FROM DIGITAL RECORDS AND IS CONCEPTUAL ONLY. THE FINAL LAYOUT IS SUBJECT TO DETAILED SURVEY AND ENGINEERING DESIGN AND THE APPROVAL OF ORANGE CITY COUNCIL. UNDER NO CIRCUMSTANCES SHALL THIS PLAN BE USED FOR CONSTRUCTION.
2. ALL SEWER MAINS SHALL BE CONSTRUCTED FROM SPIGOT AND SOCKET (SP-SOC) RUBBER RING JOINTED (RRJ) UNPLASTICISED POLYVINYL CHLORIDE (uPVC) CLASS SeH SN8 PIPE (IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS AND AS 1477).
3. ALL SEWER MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARD DRAWINGS 26 & 27. SEWER MANHOLES SHALL BE LOCATED AT CHANGES OF DIRECTION, GRADE, LINE INTERSECTIONS AND AT ALL DEAD ENDS EXCEEDING 30m IN LENGTH. MAXIMUM SPACING OF MANHOLES SHALL BE 90m.
4. A 150mm DIAMETER SEWER JUNCTION SHALL BE PROVIDED WITHIN EACH ALLOTMENT IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS.
5. DEAD ENDS AND JUNCTIONS SHALL BE SEALED WITH 150mm DIAMETER RRJ uPVC SPIGOT ACCESS COUPLINGS WITH SCREWED CAPS OR RRJ VC PLUGS AND CLIPS.
6. RISERS AND SIDELINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS AND STANDARD DRAWING 28.
7. TRENCH STOPS SHALL BE CONSTRUCTED ON ALL LINES WITH GRADES BETWEEN 10% AND 15% IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS.
8. CONCRETE BULKHEADS SHALL BE CONSTRUCTED ON ALL LINES WITH GRADES BETWEEN 15% AND 20% IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS.

32
DP1215943

SPORTS FIELD



LEGEND:

- EXISTING ROAD CENTRELINE
- EXISTING FENCE
- EXISTING BOTTOM OF BANK
- EXISTING OVERHEAD ELECTRICAL
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING STORMWATER DRAINAGE
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING ELECTRICAL/TELECOMS/GAS
- EXISTING POWER POLE
- EXISTING LIGHT POLE
- EXISTING ELECTRICITY PIT/PILLAR
- EXISTING TELECOMMUNICATIONS PIT
- EXISTING NBN PIT
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT -POTABLE
- EXISTING FIRE HYDRANT -RAW
- EXISTING STOP VALVE -POTABLE
- EXISTING STOP VALVE -RAW
- EXISTING WATER METER
- EXISTING TAP
- EXISTING TREE
- EXISTING TEST PIT
- PROPOSED SEWER MAIN
- PROPOSED STORMWATER MAIN
- PROPOSED POTABLE WATER MAIN
- PROPOSED RAW WATER MAIN
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER MAINTENANCE SHAFT
- PROPOSED STORMWATER PIT

WAY

TELOPEA

15
DP1203035
VACANT204
DP12398242 3 4
D P 2 7 1 1 7 5VACANT 110
VACANT 109
D P 1 2 3 4 6 7136
DP1103278

EMERALD STREET

PEARL COURT

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FOR APPROVAL

DATE	REV	DESCRIPTION	MY	PP
06/09/19	B	FOR DA APPROVAL	MY	PP
22/08/19	A	FOR APPROVAL	MY	PP
			REC	APP

REVISIONS



ORANGE OFFICE
154 PEISLEY STREET
ORANGE, NSW 2800
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WEB: www.premise.com.au

DESIGNED
MY
CHECKED
PPO
PROJECT MANAGER
JB
ENGINEERING CERTIFICATION

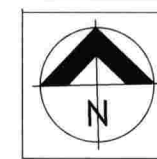
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0 5 10 15m
SCALE 1:250 (A1)
ORIGINAL SHEET SIZE A1

CLIENT
HOUSING PLUS
PROJECT
MUTLI UNIT HOUSING DEVELOPMENT
LOCATION
EMERALD STREET, ORANGE NSW 2800
SHEET TITLE
CONCEPT SEWER RETICULATION PLAN

JOB CODE
219391_03
SHEET NUMBER
C004
REV
B

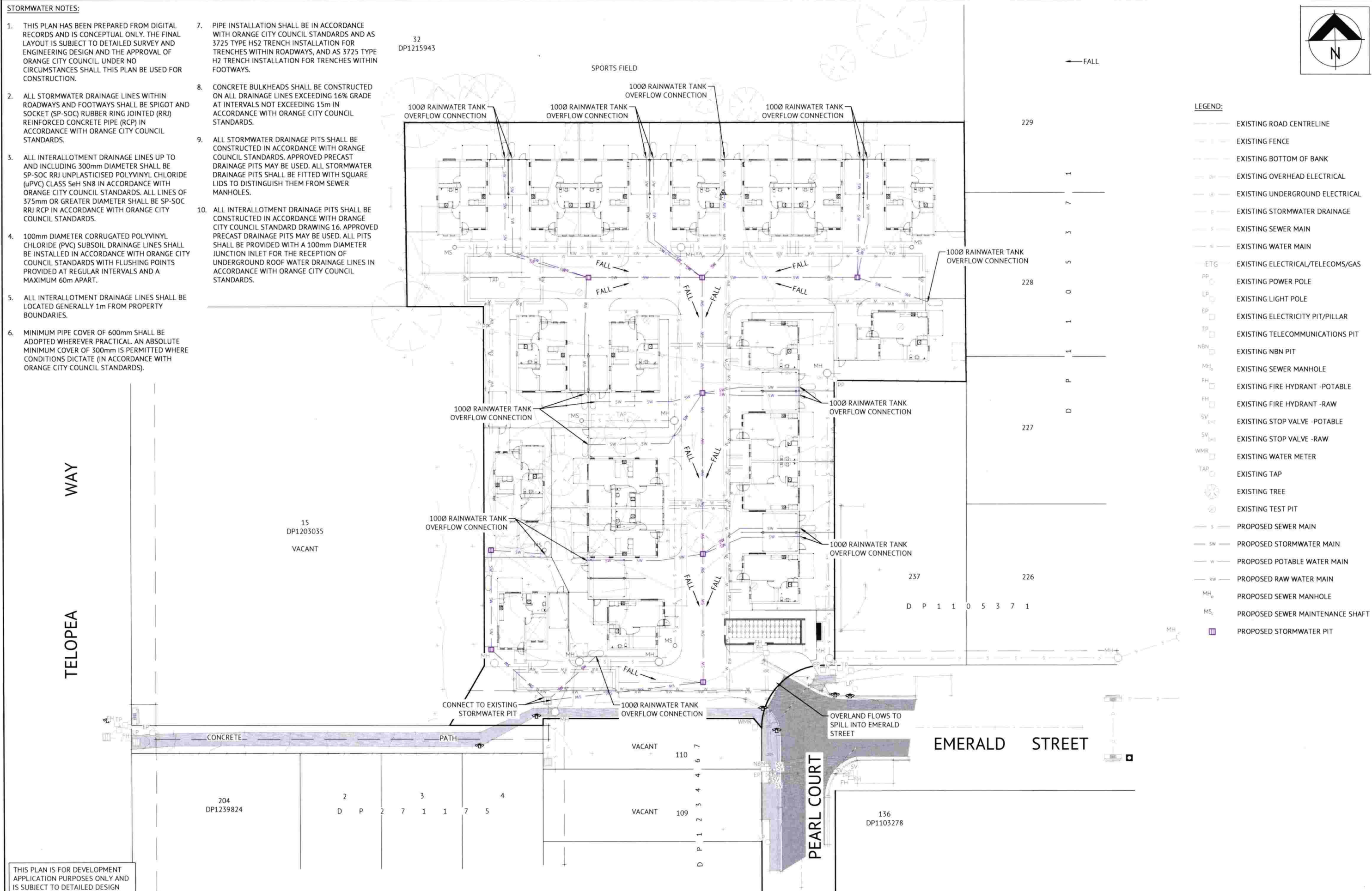
STORMWATER NOTES:

1. THIS PLAN HAS BEEN PREPARED FROM DIGITAL RECORDS AND IS CONCEPTUAL ONLY. THE FINAL LAYOUT IS SUBJECT TO DETAILED SURVEY AND ENGINEERING DESIGN AND THE APPROVAL OF ORANGE CITY COUNCIL. UNDER NO CIRCUMSTANCES SHALL THIS PLAN BE USED FOR CONSTRUCTION.
2. ALL STORMWATER DRAINAGE LINES WITHIN ROADWAYS AND FOOTWAYS SHALL BE SPIGOT AND SOCKET (SP-SOC) RUBBER RING JOINTED (RRJ) REINFORCED CONCRETE PIPE (RCP) IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS.
3. ALL INTERALLOTMENT DRAINAGE LINES UP TO AND INCLUDING 300mm DIAMETER SHALL BE SP-SOC RRJ UNPLASTICISED POLYVINYL CHLORIDE (uPVC) CLASS SeH SN8 IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS. ALL LINES OF 375mm OR GREATER DIAMETER SHALL BE SP-SOC RRJ RCP IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS.
4. 100mm DIAMETER CORRUGATED POLYVINYL CHLORIDE (PVC) SUBSOIL DRAINAGE LINES SHALL BE INSTALLED IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS WITH FLUSHING POINTS PROVIDED AT REGULAR INTERVALS AND A MAXIMUM 60m APART.
5. ALL INTERALLOTMENT DRAINAGE LINES SHALL BE LOCATED GENERALLY 1m FROM PROPERTY BOUNDARIES.
6. MINIMUM PIPE COVER OF 600mm SHALL BE ADOPTED WHEREVER PRACTICAL. AN ABSOLUTE MINIMUM COVER OF 300mm IS PERMITTED WHERE CONDITIONS DICTATE (IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS).
7. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS AND AS 3725 TYPE H52 TRENCH INSTALLATION FOR TRENCHES WITHIN ROADWAYS, AND AS 3725 TYPE H2 TRENCH INSTALLATION FOR TRENCHES WITHIN FOOTWAYS.
8. CONCRETE BULKHEADS SHALL BE CONSTRUCTED ON ALL DRAINAGE LINES EXCEEDING 16% GRADE AT INTERVALS NOT EXCEEDING 15m IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS.
9. ALL STORMWATER DRAINAGE PITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS. APPROVED PRECAST DRAINAGE PITS MAY BE USED. ALL STORMWATER DRAINAGE PITS SHALL BE FITTED WITH SQUARE LIDS TO DISTINGUISH THEM FROM SEWER MANHOLES.
10. ALL INTERALLOTMENT DRAINAGE PITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARD DRAWING 16. APPROVED PRECAST DRAINAGE PITS MAY BE USED. ALL PITS SHALL BE PROVIDED WITH A 100mm DIAMETER JUNCTION INLET FOR THE RECEPTION OF UNDERGROUND ROOF WATER DRAINAGE LINES IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS.



LEGEND:

- EXISTING ROAD CENTRELINE
- EXISTING FENCE
- EXISTING BOTTOM OF BANK
- EXISTING OVERHEAD ELECTRICAL
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING STORMWATER DRAINAGE
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
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- EXISTING ELECTRICITY PIT/PILLAR
- EXISTING TELECOMMUNICATIONS PIT
- EXISTING NBN PIT
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT -POTABLE
- EXISTING FIRE HYDRANT -RAW
- EXISTING STOP VALVE -POTABLE
- EXISTING STOP VALVE -RAW
- EXISTING WATER METER
- EXISTING TAP
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- PROPOSED SEWER MAIN
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- PROPOSED SEWER MAINTENANCE SHAFT
- PROPOSED STORMWATER PIT



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FOR APPROVAL

DATE	REV	DESCRIPTION	REC	APP
06/09/19	B	FOR DA APPROVAL	MY	PPO
21/08/19	A	FOR APPROVAL	MY	PPO



ORANGE OFFICE
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DESIGNED
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PPO
PROJECT MANAGER
JB
ENGINEERING CERTIFICATION

SCALE
0 5 10 15m
SCALE 1:250 (A1)
ORIGINAL SHEET SIZE A1

CLIENT
HOUSING PLUS
PROJECT
MUTLI UNIT HOUSING DEVELOPMENT
LOCATION
EMERALD STREET, ORANGE NSW 2800
SHEET TITLE
CONCEPT STORMWATER RETICULATION PLAN

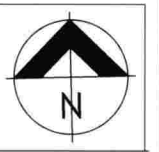
JOB CODE
219391_03
SHEET NUMBER
C005
REV
B

WATER RETICULATION NOTES:

1. THIS PLAN HAS BEEN PREPARED FROM DIGITAL RECORDS AND IS CONCEPTUAL ONLY. THE FINAL LAYOUT IS SUBJECT TO DETAILED SURVEY AND ENGINEERING DESIGN AND THE APPROVAL OF ORANGE CITY COUNCIL. UNDER NO CIRCUMSTANCES SHALL THIS PLAN BE USED FOR CONSTRUCTION.
2. ALL WATER MAINS SHALL BE EITHER PN20 DICI SP-SO RRI IN ACCORDANCE WITH AS2280, CLASS 12 MPVC OR UPVC SP-SO RRI IN ACCORDANCE WITH AS2977 OR MIN SDR 11 (PN16) PE PIPE IN ACCORDANCE WITH AS/NZS 4130
3. MINIMUM PIPE COVER OF 600mm FOR WATER MAINS SHALL BE ADOPTED EXCEPT IN ROADWAYS WHICH 750mm COVER SHOULD BE ADOPTED.
4. ALL WATER MAIN FITTINGS SHALL BE CAST OR DUCTILE IRON, CONCRETE LINED AND CONFORM TO AS 2544 AND AS 2280.
5. A METERED WATER SERVICE CONNECTION SHALL BE PROVIDED TO EACH ALLOTMENT AND SHALL CONSIST OF A 20mm DIAMETER TYPE A DRAWN COPPER PIPE (1.4mm WALL THICKNESS) IN ACCORDANCE WITH AS 1432. ALL SERVICE CONNECTIONS THAT CROSS A ROAD SHALL CROSS PERPENDICULAR TO THE ROAD CENTRELINE AND BE ENCASED WITHIN A 50mm DIAMETER CLASS 12 UNPLASTICISED POLYVINYL CHLORIDE (uPVC) CONDUIT. ROAD CROSSINGS SHALL BE MARKED ON EACH KERB WITH A "W". SERVICE CONNECTIONS SHALL BE LOCATED IN PAIRS.
6. WATER METERS SHALL BE LOCATED APPROXIMATELY 500mm INSIDE FRONT AND SIDE BOUNDARIES IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS. THE STOP VALVE SHOULD BE LOCATED NO MORE THAN 450mm INSIDE THE PROPERTY.
7. ALL MAINCOCKS, TEES, FIRE HYDRANTS, STOP VALVES, SCOUR VALVES, AND AIR VALVES SHALL BE LOCATED WITHIN THE VERGE IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARDS.
8. STOP VALVES SHALL GENERALLY BE LOCATED ADJACENT TO TEES AND SHALL BE ARRANGED SO THAT NO MORE THAN 20 PROPERTIES ARE ISOLATED AT ANY ONE TIME BY CLOSING NO MORE THAN 4 VALVES.
9. FIRE HYDRANTS OF AN APPROVED TYPE SHALL BE INSTALLED ALONG WATER MAINS AT MAXIMUM SPACINGS OF 60m AND AT ALL DEAD ENDS AND HIGH POINTS.
10. SCOUR VALVES SHALL BE PROVIDED AT ALL LOW POINTS AND SHALL DISCHARGE VIA A PIPE TO A STORMWATER DRAINAGE PIT.
11. ALL VALVES AND HYDRANTS SHALL BE ENCLOSED WITHIN VALVE CHAMBERS IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARD DRAWING 18.
12. CONCRETE THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, AND DEAD ENDS IN ACCORDANCE WITH ORANGE CITY COUNCIL STANDARD DRAWINGS 20 & 21.

32
DP1215943

SPORTS FIELD



LEGEND:

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EMERALD STREET

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SCALE
0 5 10 15m
SCALE 1:250 (A1)
ORIGINAL SHEET SIZE A1

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HOUSING PLUS
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MUTLI UNIT HOUSING DEVELOPMENT
LOCATION
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JOB CODE
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C006
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